



**REGULAR MEETING OF THE
SALADO BOARD OF ALDERMEN**

REGULAR MEETING AGENDA

**6:30 P.M., THURSDAY, APRIL 21, 2016
MUNICIPAL BUILDING
301 NORTH STAGECOACH, SALADO, TX
BOARD OF ALDERMEN CHAMBERS**

I. CALL TO ORDER

1. Invocation/Moment of Silence.
2. Pledge of Allegiance, Texas Pledge of Allegiance.

(“Honor the Texas flag: I pledge allegiance to thee, Texas, one state under God, one and indivisible.”)

II. PROCLAMATIONS / SPECIAL RECOGNITION

None.

III. PUBLIC COMMENTS

3. Citizens who desire to address the Board of Aldermen on any matter may sign up to do so prior to this meeting. Public comments on issues not listed on the agenda will be received during this portion of the meeting. Comments related to items on the agenda will be received during consideration of the individual agenda item. Please limit comments to 3 minutes. No discussion or final action will be taken by the Board of Aldermen.

IV. REPORTS

Mayor’s Report

Alderman Reports:

- Environmental Report – Alderman Dankert
- ETJ/Annexation Report – Alderman McDougal and Alderman Dankert
- Ordinance Committee Report – Alderman Williams

- Main Street Report – Mayor Pro Tempore Brown and Alderman Coachman
- Street Improvement Report – Alderman McDougal
- Economic Development Committee – Alderman Coachman and Mayor Pro Tempore Brown
- Trails and Parks Committee – Alderman Dankert
- Public Safety/Emergency Management Committee – Alderman Dankert and Alderman McDougal
- Stagecoach/Wastewater Status Report – Mayor Pro Tempore Brown, Alderman Williams, and Administrator Foutz

Financial Report

V. CONSENT AGENDA

All items listed under this section, Consent Agenda, are considered to be routine by the Board of Aldermen and may be enacted by one motion. If discussion is desired by the Board of Aldermen, any item may be removed from the Consent Agenda at the request of an Alderman and will be considered separately.

4. Consider approving the Consent Agenda item:
 - a. Minutes, April 7, 2016, Regular Meeting.
 - b. Minutes, April 14, 2016, Workshop Meeting

VI. REGULAR AGENDA

5. Consider and take action on a waiver to Section 3.9 Water and Wastewater Facility Design (fire protection) of the Village of Salado Subdivision Ordinance 2009.03 for a replat of Terra Bella Phase III, a subdivision in the ETJ.

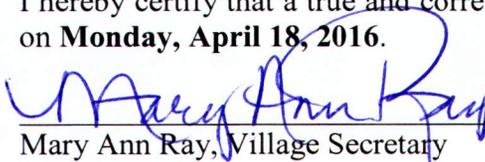
VII. EXECUTIVE SESSION

VIII. ADJOURN

The Village of Salado reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices) and 551.087 (Economic Development).

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the Village Secretary's office at (254) 947-5060 for further assistance.

I hereby certify that a true and correct copy of this Notice of Meeting was posted in a public place at 5:00 p.m. on **Monday, April 18, 2016.**



 Mary Ann Ray, Village Secretary

Removed from display: _____

Village of Salado, Texas
Board of Aldermen
Minutes
Regular Meeting and Workshop
6:30 p.m. Thursday, April 7, 2016
Municipal Building, 301 N. Stagecoach Road

Present: Mayor Skip Blancett, Mayor Pro Tempore Fred Brown, Alderman Frank Coachman, Alderman Amber Preston Dankert, Alderman Michael McDougal, Alderman David Williams.

Others Present: Kim Foutz, Village Administrator; Dottie Palumbo, Village Attorney; Jack Hensley, Chief of Police; Mary Poché, Executive Director, Salado Chamber of Commerce/Tourism Bureau; Mary Ann Ray, Village Secretary.

I. Call to Order.

Mayor Blancett called the meeting to order at 6:30 p.m.

1. Dr. Travis Burleson of First Baptist Church delivered the invocation.
2. Eagle Scout candidate Ryan Flanagan led the Pledge of Allegiance and the Texas Pledge of Allegiance.

II. Proclamations/Special Recognition.

The Mayor awarded two proclamations:

3. April as Fair Housing Month in the Village of Salado.
4. Honoring Boy Scout Ryan Flanagan for his Eagle Scout Project, a promotional video for Be the Match, an organization that encourages people to register as bone marrow donors.

III. Public Comments.

5. Jennifer McFarland, 707 DeGrummond Way, thanked the Village for outstanding turnout for the Wildflower Weekend, conducted April 2-3.

IV. Reports.

Mayor's Report.

Mayor Blancett deferred to Rick Lewis of the Texas Department of Transportation for his report. Mr. Lewis gave an overview of construction progress on Interstate 35 in Salado.

Village Administrator's Report.

Administrator Foutz reported that the Village audit is complete and will be presented to the BOA at the April 21, 2016, meeting. She reported on the various sources of Village revenues; the hike-and-bike trail; the Stagecoach Wastewater Treatment Plant; revisions to the Subdivision Ordinance; design of the new wastewater treatment plant; and drainage.

Police Department Report.

Chief Hensley reported that the Public Safety/Emergency Management Committee will conduct its first meeting at 6:30 p.m. Tuesday, April 12, 2016, at city hall. Trainings are set for officers and a decoy vehicle is being set up around the Village to discourage traffic violations. See attached report.

Fire Department Report.

Chief Shane Berrier reported that nine of the 16 recent motor vehicle accidents involved semi-tractor/trailers on the Interstate. The firetruck that burned was deemed a total loss; a comparable new vehicle costs \$190,000. Insurance will pay \$100,000. The department will consider a loan and accept donations to make up the shortfall. See attached report.

Chamber of Commerce/Tourism Bureau Report.

Executive Director Mary Poché gave an update on the Chamber's Plan of Work and said that while Hotel-Motel tax numbers are down at this point, the summer is expected to bring an increase. See attached report.

V. Consent Agenda.

6. Consider approving the Consent Agenda items:
 - a. Minutes, March 10, 2016, Regular Meeting.
 - b. Purchase of fence materials for the Stagecoach Wastewater Treatment Plant in an amount not to exceed \$1,700.
 - c. A Professional Services Contract with KPA Engineers, Inc., for preparation of a permit renewal application for the Stagecoach Wastewater Treatment Plant in the amount of \$5,400.
 - d. Award a bid to PrimeSpec Construction for a blower unit and associated installation expenses for the Stagecoach Wastewater Treatment Plant in the amount of \$31,556.

Alderman McDougal made a motion to approve the Consent Agenda as presented. Mayor Pro Tempore Fred Brown seconded. The motion carried unanimously.

VI. Regular Agenda.

7. Presentation, discussion and possible action on an Ordinance (Ordinance No. 2016.09) establishing Design Standards for the Sanctuary development.

Administrator Foutz reviewed the history of Sanctuary annexation and zoning through Planned Development Districts.

Mayor Pro Tempore Brown made a motion to approve Ordinance 2016.09, establishing Design Standards for the Sanctuary development as presented. Alderman McDougal seconded.

David Williams suggested some administrative and non-substantive changes to the Ordinance. Village Attorney Dottie Palumbo said the changes do not affect the meaning of the Ordinance.

Alderman Williams made a motion to amend the original motion to approve Ordinance 2016.09 with two exhibits as presented. Mayor Pro Tempore Brown seconded. The amendment carried unanimously.

There was discussion about metes and bounds. Administrator Foutz said the developer will get the metes and bounds from the surveyor and provide them to the Village.

Alderman Coachman made a motion to amend the motion substituting Exhibit A with the metes and bounds description from the annexation agreement minus the Historic Area plus the metes and bounds as included Planned Development District #2 and Planned Development District No. 3 that were not part of the annexation petition. Mayor Pro Tempore Brown seconded. The amended amendment carried by a 4-1 vote (Alderman Dankert).

The original motion with two amendments carried by a 4-1 vote (Alderman Dankert).

8. Presentation, discussion, and possible action on a Certificate of Acceptance for a Permanent Utility Easement from The Sanctuary for wastewater improvements.

Administrator Foutz explained that this easement connects the wastewater line to the wastewater plant site.

Mayor Pro Tempore Brown made a motion to approve the Certificate of Acceptance for a Permanent Utility Easement from The Sanctuary as presented. Alderman McDougal seconded. The motion carried unanimously.

9. Presentation, discussion, and possible acceptance of a TCEQ permit from Sanctuary Utility Company Inc./Billie Hanks, Jr., for a wastewater treatment plant in accordance with the Donation Agreement, and authorizing the Village Administrator to process and sign any necessary documents and authorizations to execute the permit transfer for the Village of Salado.

Alderman Coachman made a motion to approve the acceptance of a TCEQ permit from Sanctuary Utility Company Inc./Billie Hanks, Jr., for a wastewater treatment plant in accordance with the Donation Agreement, and authorizing the Village Administrator to

process and sign any necessary documents and authorizations to executive the permit transfer for the Village of Salado, as presented. Alderman McDougal seconded. The motion carried unanimously.

10. Presentation, discussion, approval and acceptance of a Special Warranty Deed for six acres from The Sanctuary, in accordance with the Donation Agreement, for a wastewater treatment plant site and authorizing the Mayor to execute the certificate of Acceptance on behalf of the Village of Salado.

Alderman Coachman made a motion to approve the acceptance of a Special Warranty Deed for six acres from The Sanctuary, in accordance with the Donation Agreement, for a wastewater treatment plant site and authorizing the Mayor to execute the certificate of Acceptance on behalf of the Village of Salado, as presented. Mayor Pro Tempore Brown seconded. The motion carried unanimously.

11. Consider a Resolution (R-2016-140) authorizing submission of an application for Project Development by the Texas Department of Transportation through the Killeen-Temple Metropolitan Planning Organization for street, stormwater drainage, bicycle lane, on-street parallel parking, and trail design for Main Street.

Administrator Foutz explained that the deadline for applications is April 18, 2016. If awarded, the funds would be used for project development but not actual construction.

Mayor Pro Tempore Brown made a motion to approve Resolution (R-2016-140) authorizing submission of an application for Project Development by the Texas Department of Transportation through the Killeen-Temple Metropolitan Planning Organization for street, stormwater drainage, bicycle lane, on-street parallel parking, and trail design for Main Street. Alderman Dankert seconded. The motion carried unanimously.

12. Presentation, discussion, and possible action on the following items relating to tourism and partnership with the Salado Chamber of Commerce:

- a. Presentation, discussion, and possible action on an ordinance (Ordinance 2016.11) amending Ordinance 2008.25, Hotel-Motel Tax Ordinance, abolishing the Tourism Council.

Alderman Coachman made a motion to approve Ordinance 2016.11, amending Ordinance 2008.25, Hotel-Motel Tax Ordinance, abolishing the Tourism Council, as presented. Mayor Pro Tempore seconded. The motion carried unanimously,

- b. An ordinance (Ordinance 2016.08), repealing and replacing Ordinance 2015.03, Delegation of Authority, to establish reporting and oversight of the Executive Director of the Chamber of Commerce and Tourism Bureau and his/her direct reports to the Mayor and Board of Aldermen.

Alderman Coachman made a motion to approve Ordinance 2016.08, repealing and replacing Ordinance 2015.03, Delegation of Authority, to establish reporting and oversight of the Executive Director of the Chamber of Commerce and Tourism Bureau and his/her direct reports to the Mayor and Board of Aldermen, as presented. Mayor Pro Tempore Brown seconded.

Alderman Williams pointed out that the Mayor already has a supervisory role, and including the Board of Aldermen as supervisors gives the appearance that the Executive Director will have multiple supervisors.

Alderman Williams made a motion to amend the original motion, removing the phrase "and Board of Aldermen" from sub-paragraph 5. Alderman McDougal seconded. The amendment carried unanimously.

The amended motion carried unanimously.

- c. Presentation, discussion and possible action on a Contract for Consultant Services between the Village of Salado and the Salado Chamber of Commerce.

Alderman Coachman made a motion to approve a Contract for Consultant Services between the Village of Salado and the Salado Chamber of Commerce as presented. Alderman McDougal seconded. The motion carried unanimously.

13. Presentation, discussion, and possible action on the purchase of a clarifier unit from Matous Construction for the Stagecoach Wastewater Treatment Plant for \$47,500.

Administrator Foutz explained that when Barrow Brewing Company came online to the treatment plant, the flow has increased dramatically with food/beverage waste, thereby increasing the number of times for pump and haul. The Village had to pump and haul twice in one week at a cost of \$1,100. Renovation of the Stagecoach Inn restaurant will further increase flow. A new clarifier would allow the treatment plant to handle the increase in flow along with food/beverage waste and eliminate the need for pump and haul.

Alderman Coachman made a motion to approve the purchase of a clarifier unit from Matous Construction for the Stagecoach Wastewater Treatment Plant for \$47,500.

The Mayor closed the Regular Session at 8:44 p.m.

Prior to the start of the Workshop Session, the Mayor announced that the Executive Session item (Evaluation of the Chief of Police as authorized by Texas Government Code §5451.074, Personnel Matters) would be postponed until the April 21, 2016, BOA meeting.

VII. Workshop Session.

The Mayor opened the Workshop Session at 8:45 p.m.

14. Discussion on realignment of the multi-use Main Street trail as part of the Future Trails System.

Administrator Foutz reviewed the route of the trail, which will be located south of Salado Creek. Some property owners have withdrawn their offers of land donation for the trail, necessitating the acquisition of new property and thereby changing the route. There was discussion about grants and funding.

The Mayor closed the workshop at 8:55 p.m.

VIII. Adjourn.

Mayor Pro Tempore Fred Brown made a motion to adjourn. Alderman Dankert seconded. The meeting was adjourned at 8:56 p.m.

Skip Blancett, Mayor

Mary Ann Ray, Village Secretary

Village of Salado, Texas
Board of Aldermen
Minutes
Special Called Meeting and Workshop
6:30 p.m. Thursday, April 14, 2016
Municipal Building, 301 N. Stagecoach Road

Present: Mayor Skip Blancett, Mayor Pro Tempore Fred Brown, Alderman Frank Coachman, Alderman Amber Dankert, Alderman Michael McDougal, Alderman David Williams.

Others Present: Kim Foutz, Village Administrator; Mary Ann Ray, Village Secretary.

I. Call to Order.

Mayor Blancett called the meeting to order at 6:30 p.m. with prayer.

II. Regular Agenda.

1. Presentation, discussion, and possible action on a Chapter 380 Economic Development Agreement and Tourism Marketing Agreement with Stagecoach 1943 Limited Partners, LLC, for renovations at the Stagecoach Inn (amendments to the original agreements presented).

Administrator Foutz explained that the amendments arose from feedback from the developer. Most of the changes involve the timeframe for the redevelopment of the property.

Alderman Coachman made a motion to postpone the Chapter 380 Economic Development and Tourism Marketing Agreement with Stagecoach 1943 Limited Partners, LLC, for further study, negotiation, and refinement. Alderman McDougal seconded. The motion carried unanimously.

The Mayor adjourned the Regular Session at 7 p.m. He opened the Workshop Session at 7:03 p.m.

III. Workshop Session.

2. Discussion on a policy relating to annexation, extraterritorial jurisdiction, and economic development (Item No. 5 on agenda).

There was discussion via conference call with Village Attorney Dottie Palumbo on methods to entice developers in the ETJ to bring their developments into the Village limits. Recent changes in the law regarding the annexation of roads can work to Salado's advantage.

3. Discussion on realignment of the multi-use trail south of Salado Creek (Item No. 2 on agenda).

Administrator Foutz reported that she walked the trail with a representative from the Texas Department of Transportation, who had no issues with the realignment. She said the federal TAP grant stipulates that the trail must be a concrete pathway, which is a concern to some of the business owners who have donated property for the trail; however, there may be ways to enhance the appearance to better conform with the natural beauty of the trail's surroundings. Mayor Blancett directed Alderman Coachman and Administrator Foutz to arrange a meeting with the property owners.

4. Discussion on an ordinance delegating authority to the Village Administrator to waive rental fees for certain tax-exempt organizations for the Pavilion at Pace Park (Item No. 3 on agenda).

Village Secretary Ray explained that this item grew arose from requests by non-profit organizations to have the rental fee for the pavilion waived. There was discussion about the lost potential income if fees are waived. Mayor Blancett directed the Village Secretary and Administrator to research the costs of the Pavilion in terms of manpower, electrical use, and water use and bring a report to the May 12, 2016, Workshop meeting.

5. Discussion on a pre-treatment ordinance for the wastewater system (Item No. 4 on agenda).

Administrator Foutz explained the need for an ordinance to regulate what materials can enter the wastewater treatment system. This ordinance will apply not only to the Stagecoach Wastewater Treatment Plant but to the new treatment plant as well. The Ordinance Committee and the Wastewater Committee will be asked to work together on the development of this ordinance.

Mayor Blancett returned to Item 2 (Item No. 5 on agenda) to ask the BOA of its wishes regarding economic development and the ETJ. It was decided that the Mayor would invite some of the area developers to meet with him and Aldermen Coachman and McDougal.

The Mayor closed the Workshop Session at 8:10 p.m. and returned to the Regular Session.

Alderman Williams made a motion to adjourn. Alderman Coachman seconded. The meeting was adjourned at 8:11 p.m.

Skip Blancett, Mayor

Mary Ann Ray, Village Secretary

BOARD OF ALDERMEN

AGENDA ITEM MEMORANDUM

4/21/2016
Item #5
Page 1 of 3

DEPT/DIVISION REVIEW:

Kim Foutz, Village Administrator & Chrissy Lee, Planning and Development

ITEM DESCRIPTION: Consider and take action on a waiver to Section 3.9 Water and Wastewater Facility Design (fire protection) of the Village of Salado Subdivision Ordinance 2009.03 for a replat of Terra Bella Phase III, a subdivision in the ETJ.

(Language taken directly from Ordinance)

Section 3.9: Water and Wastewater Facility Design

- a. Water supply for all new subdivisions shall be connected with the appropriate publicly certified water supply corporation, and shall be capable of providing water for health and emergency purposes, including fire protection.

ITEM SUMMARY AND ANALYSIS: Terra Bella Phase III was originally platted prior to becoming part of the Village ETJ and therefore platted only to Bell County standards. As it is now within the ETJ, the Village Engineer reviewed the replat application and construction plans for compliance with the Village of Salado Subdivision Ordinance No. 2009.03.

The following comments were made in regards to fire protection for the subdivision:

- Section 3.9 of the Village of Salado Subdivision Ordinance requires that fire protection be provided for all new subdivisions. Based on input from the Village of Salado Fire Chief, the following options for mitigation were recommended:
 1. Install residential fire alarm systems on new construction and install a hydrant to a 6" line at Armstrong Road or at some point within the subdivision such that it is no further than 1800'; OR
 2. Install residential fire alarm systems on new construction and install fire hydrants in the subdivision connected to 4" lines (if allowed by Armstrong Water Supply Corporation), and get certification from a fire engineer that the system will operate sufficiently. OR
 3. Replace existing 4" line with a 6" line and install fire hydrants within the subdivision. OR
 4. Install a ground storage tank that can be filled by the 4" waterline and is accessible to a pumper truck. Size and location to be determined by the design engineer.

Staff has contacted surrounding Fire Marshals and consulted with our Fire Chief to identify what other cities require. All cities we spoke with, in all cases, require installation of 6" water lines and to provide fire hydrants, regardless of whether the water supplier can support hydrants. This is ensure long term public health and safety.

Although any one of the above suggestions would have still required a waiver from the Subdivision Ordinance, Terra Bella has chosen to ask for a variance to the fire protection requirements without meeting one of the suggested mitigation options. The applicant is requesting to allow the replat with the existing 4' water lines and install no fire hydrants.

Section 1.9 - Waivers/Suspensions

Where the Planning & Zoning Commission recommends, and the Board of Aldermen finds, that undue hardships will result from strict compliance with a certain provision(s) of this Ordinance, or where the purposes of these regulations may be served to a greater extent by an alternative proposal, it may approve a waiver/suspension from any portion of these regulations so that substantial justice may be done and the public interest is secured, provided that the waiver/suspension shall not have the effect of nullifying the intent and purpose of these regulations and further provided that the Board of Aldermen shall not approve a waiver/suspension unless it shall make findings based upon the evidence resented to it in each specific case that:

Conditions to be Met for Approval	Staff Analysis
1. Granting the waiver/suspension will not be detrimental to the public safety, health, or welfare, and will not be injurious to other property or to the owners of other property, and the waiver/suspension will not prevent the orderly subdivision of other property in the vicinity; and	Granting the variance is detrimental to the public safety, health, or welfare, and could be injurious to other property or the owners of other property should a fire spread and not be able to be contained with the water available in a tanker truck. With a condition requiring mitigation, it will assist in limiting the impact.
2. The conditions upon which the request for a waiver/suspension is based are unique to the property for which the waiver/suspension is sought, and are not applicable generally to other property; and	This property was originally not in the ETJ of the Village and therefore was not platted to Village standards. If the development was not replatting, the conditions would still be in effect. If this was not an existing subdivision, staff would recommend denial regardless of proposed mitigation. This position is validated by other fire jurisdictions.
3. Because of the particular physical surroundings, shape, and/or topographical conditions of the specific property involved, a particular hardship to the property owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out; and	There are no physical reasons that fire improvements could not be installed.
4. The waiver/suspension will not in any manner vary the provisions of the Zoning Ordinance or Comprehensive Plan or any other adopted plan(s) or ordinance(s) of the Village; and	The waiver will not vary the provisions or any existing Ordinance or plans.
5. An alternate design will generally achieve the same result or intent as the standards and regulations prescribed herein.	The development has rejected all alternate suggestions to date. The condition of a dry hydrant connected to a pond would mitigate, but not have the same results/protection 6" lines and hydrants would provide.

FISCAL IMPACT: Although there is no direct fiscal impact to the Village, failure to meet the requirements of fire protection will result in the subdivision having a lower ISO (Insurance Service Office) rating for the homes. In addition, when the subdivision is annexed into the Village, it will negatively impact the citywide rating and contribute to higher insurance rates.

STAFF / P&Z RECOMMENDATION: This item was presented to the Planning & Zoning Commission on 04/12/2016. P&Z voted 3-0 to recommend approval of the waiver to the BOA contingent on the subdivision installing a dry hydrant connected to the existing pond, which was at the recommendation of Fire Chief, Shane Berrier (please see the attached letter). Staff recommends a one-time approval based on the subdivision being existing and subject to the recommendation of the Salado Fire Chief and the P&Z.

ATTACHMENTS:

- Subdivision Variance Application
- Letter from Applicant
- Letter from Shane Berrier, Village of Salado Fire Chief
- Letter from Village Engineer John Simcik, P.E., C.F.M.
- Final Plat of Terra Bella Subdivision Phase III (replat)
- Armstrong W.S.C. Water Line Extension

MAR 30 2016



Subdivision

ZONING VARIANCE APPLICATION

Date: 3/30/16

APPLICANT

PROPERTY OWNER

Name: Joe T. RITCHIE Same
Mailing Address: 523 Via Lago BELTON, TX 76513
Daytime Phone: 254-947-5793
Fax: E-mail: ritchie@msu.edu

PROPERTY DESCRIPTION

Street Address: Terra BELLA Subdivision Acres: ~ 30 acres
Location: 1/2 mile NORTH of corner of Armstrong Rd & Subby Walls Rd.
(ie: corner of & ; or, 1 mile south of FM ; etc.)

Existing use of property: Subdivision
Are there buildings on the property? Yes If yes, what are they used for. Residences

REQUESTED VARIANCE

I/We request a variance to Section 3.9 of the Zoning Ordinance which requires... subdivision
Fire protection provided for all new subdivisions.

Instead, I/We would like to request...

Fire protection to be same as before we joined Salado ETJ. This is changing boundaries on same lots and not a new subdivision. Armstrong Water is a rural water supply and does not support fire hydrants.

SUBMITTAL REQUIREMENTS

~~\$~~ 25.00

_____ ~~\$250.00~~ Application Fee, due at time of application and payable to the Village of Salado.

_____ Site plan with additional information needed to properly and effectively review the request.
5 copies. (All drawings must be to scale.)

PLEASE NOTE:

All agreements to the variance by neighbors of the property in question must be in writing to be submitted for support to the variance request.

No variance shall be granted unless the Zoning Board of Adjustments finds:

- (1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this Ordinance would deprive the applicant of the reasonable use of the land; and
- (2) That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant; and
- (3) That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other property within the area; and
- (4) That the granting of the variance will not have the effect of preventing the orderly use of other land within the area in accordance with the provisions of this Ordinance.

Ms. Kim Foutz
City Administrator
Village of Salado
Salado TX 76571

Dear Ms. Foutz,

Herewith is my application for a subdivision variance request to not have to add fire hydrants to my existing subdivision, Terra Bella, which has recently had some boundary changes needing to be made. In a letter to you (enclosed), is a statement from engineer, John Simchik, that fire protection be provided for new subdivisions. We are asking for a waiver for that since our water supply is from a rural water supply corporation, Armstrong, and they do not provide sufficient water capacity for fire protection. I believe their engineer, Johnny Tabor, has forwarded you information about the system.

Since this is an existing subdivision with relatively minor changes to its boundaries to complete the use of the property, I will greatly appreciate consideration of a waiver of requiring fire protection.

Attached find the new plat called phase III, the original plat, the water service changes and the two letters I have received by copies from Mr. Simchik.

Respectfully submitted,



Joe T. Ritchie

Owner, Terra Bella Subdivision



Salado Fire Department

P.O. Box 503

Salado, Texas 76571

Tel. 254-947-8961 • Fax 254-947-1006

Salado VFD is agreeing to a one time only acceptance of not having any fire hydrants for fire protection within the ordinance fire codes of the Village of Salado, due to Terra Bella Subdivision only adding 1-2 lots from original plat accepted by Bell County in the past. With the homeowners of Terra Bella accepting that if there is a fire in subdivision there will be no water source available to the fire department if or when the trucks run out of water, the fire could spread elsewhere before extinguished. Salado VFD would really recommend the developer to look into installing dry hydrants to the ponds in subdivision for a closer water source. Keep in mind the fire departments closest hydrant for water is at the intersection of Armstrong and Sulfer Wells Rd.

Respectfully,

Shane Berrier
Salado VFD Chief
www.SaladoFire.com
P. 254.947.8961
C. 254.760.1937



KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
Texas Firm F-510

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RICK N. KASBERG, P.E.
R. DAVID PATRICK, P.E., CFM
THOMAS D. VALLE, P.E.
GINGER R. TOLBERT, P.E.
ALVIN R. "TRAE" SUTTON, III, P.E., CFM

Georgetown
1008 South Main Street
Georgetown, Texas 78626
(512) 819-9478

March 4, 2016

Ms. Kim Foutz
City Administrator
Village of Salado
P. O. Box 219
Salado, Texas 76571

Re: Terra Bella Subdivision Phase III
Construction Plans – Street and Waterline Extensions
Salado, Texas

Dear Ms. Foutz:

We have completed our first review of the referenced construction plans which we received on February 24, 2016. The following is a summary of our comments for the applicant.

Via Valle Extension

- Sheet C2.0 – General Construction Note 2 references work within state right-of-way and lists the TxDOT Area Engineer as a contact. To the best of our knowledge, this is not applicable to this project and may be removed from the construction plans.
- Sheet C2.0 – Note 8 references the City of Temple; revise to Village of Salado.
- Sheet C2.0 – The second sentence of Note 14 is incomplete.
- Sheet C2.0 – Notes 17 and 24 are not applicable inasmuch as there are no sanitary services in this area.
- Sheet C3.0 – The drainage area map indicates A1 is 0.92 acres; however, the calculations indicate that it is 0.91 acres. Please correct this discrepancy.
- Sheet C3.0 – The drainage calculations indicate no change between pre- and post-project conditions. It is anticipated that there should be some change inasmuch as a paved cul-de-sac is shown to be constructed within the drainage area. If this is not true, please provide an explanation that justifies showing the calculations as they are.
- Sheet C5.0 – Please provide a copy of the Geotechnical Report as referenced in the Typical Street Section.
- General Comment – Please use Village of Salado Standard Construction Details as found in the Technical Construction Standards and Specifications Manual (i.e. mountable curb, tree protection, erosion control, etc.).
- All comments from the Bell County Engineer's Office, Bell County Health Department, and Armstrong Water Supply Corporation shall be addressed prior to approval by the Village of Salado.

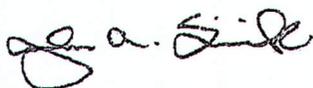
Ms. Kim Foutz
March 4, 2016
Page Two

Armstrong WSC Waterline Extension

- Is there an existing water service for Block 4, Lot 4 (east side of Via Fiume)? If not, a water service should be included for this lot.
- It appears that there needs to be callouts for additional fittings at the 90° bends at the street crossings of Via Fiume and Via Valle.
- Final plans need to be signed and sealed by an engineer licensed in the State of Texas.
- It is noted that fire protection is not provided for this subdivision.
- Section 3.9 of the Village of Salado Subdivision Ordinance requires that fire protection be provided for all new subdivisions. Based on input from the Village of Salado Fire Chief, the following options for compliance are recommended:
 1. Install residential fire alarm systems on new construction and install a hydrant to a 6" line at Armstrong Road or at some point within the subdivision such that it is no further than 1800'.
 2. Install residential fire alarm systems on new construction and install fire hydrants in the subdivision connected to 4" lines (if allowed by Armstrong Water Supply Corporation), and get certification from a fire engineer that the system will operate sufficiently.
 3. Replace existing 4" line with a 6" line and install fire hydrants within the subdivision.
 4. Install a ground storage tank that can be filled by the 4" waterline and is accessible to a pumper truck. Size and location to be determined by the design engineer.

If you have any questions or comments, please call or email.

Sincerely,



John A. Simcik, P.E., C.F.M.

xc: 2002-105

Mr. Chuck Lucko, RPLS, All County Surveying, Inc.
Mr. Stephen Eubanks, Bell County Engineer's Office
Mr. Michael Jahns, Bell County Health Department
Mayor Skip Blancett, Village of Salado
Mr. Anthony Beach, P.E., BSP Engineers
Mr. Johnny Tabor, P.E., Tabor & Associates, Inc.

Final Plat of TERRA BELLA SUBDIVISION PHASE III

BEING A REPLAT OF LOTS 1-3 AND LOTS 5-7 BLOCK B and LOT 10, BLOCK 2, TERRA BELLA SUBDIVISION,
OF RECORD IN CABINET C, SLIDE 805-B, PLAT RECORDS OF BELL COUNTY, TEXAS,
WITHIN THE EXTRATERRITORIAL JURISDICTION (ETJ) OF
THE VILLAGE OF SALADO, BELL COUNTY, TEXAS.

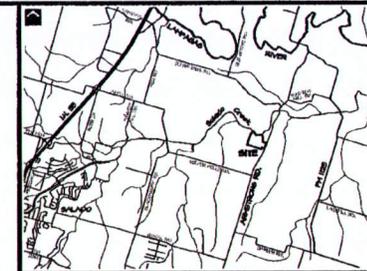
LOTS - TEN (10)
BLOCKS - TWO (2)
AREA - 24.89 ACRES

OWNERS:
Joe T. Wolfe
Ann A. Hinkle
807 Via Lago
Belton TX 76008

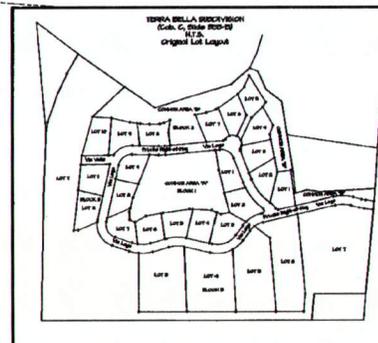
Larry D. Calhoun
April E. Calhoun
204 Via Lago
Belton TX 76008

Bruce D. Tishler
804 Via Lago
Belton TX 76008

BEING PART OF THE AARON GILLINS SURVEY,
ABSTRACT NO. 216, BELL COUNTY, TEXAS.



VICINITY MAP
NOT TO SCALE



Based upon which can be located from the graphics shown on P.E.H.A. Plans reference State Maps (Plan No. 402200000) effective date September 20, 2004 and prior to the above plat, property lines shown on the "Original Plat" shown on the plat are to be located in Zone A. The flood statement does not imply that the land is or will be flood-prone, nor does it create any liability in any way on the part of the surveyor or company.

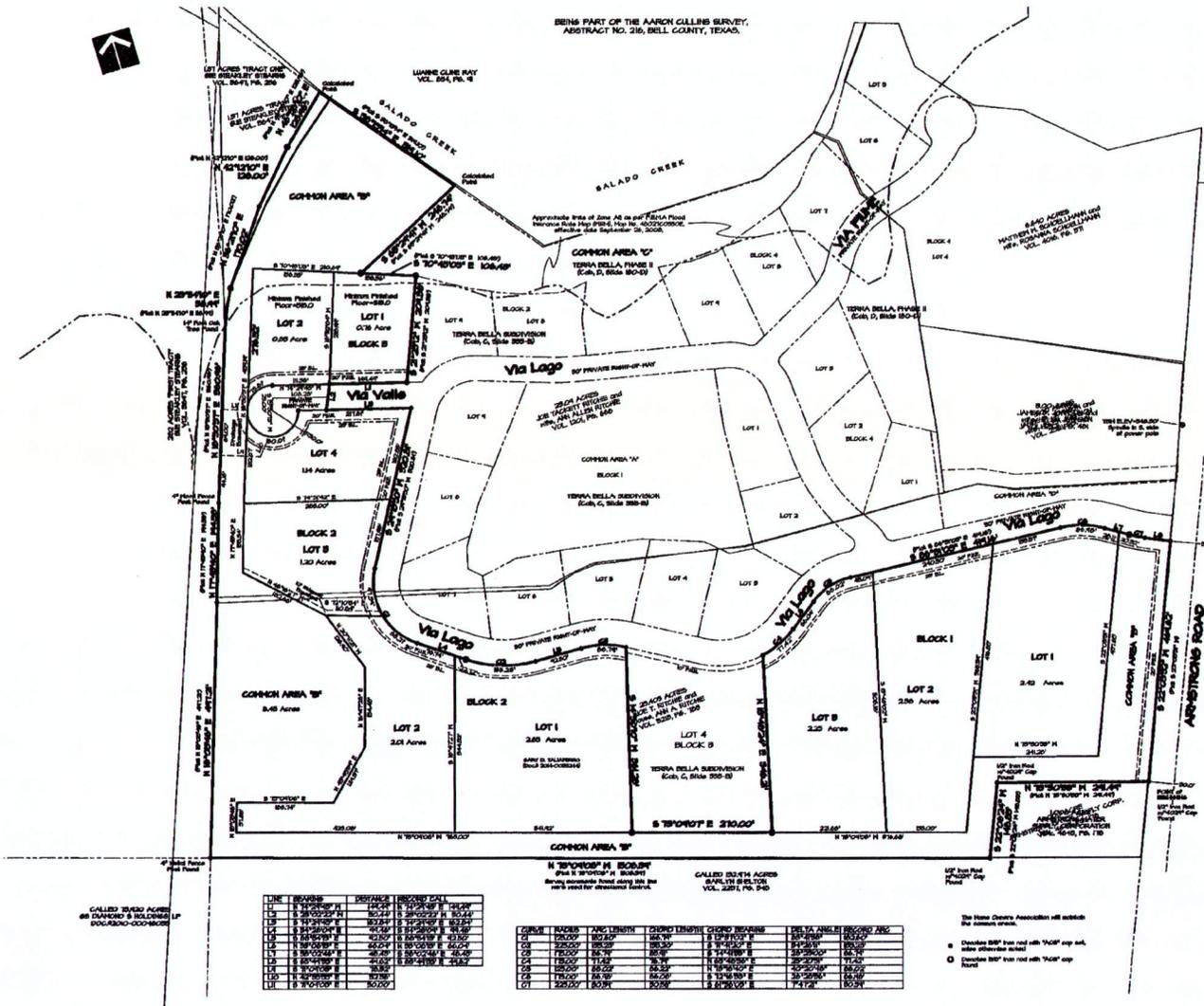
Terra Bella Home Owners Association, as owner of the private streets and easements, agrees to release, defend and hold harmless the Village of Salado, any other governmental entity and any public utility entity for damages for private streets that may be damaged by the reconstruction of the private streets by state, and for damages and injury including death, arising from the condition of the private streets, all of any line of damage claim or other claim or any of any use of the subdivision by the Village or government or other entity.

No subdivision was allowed until the foundation work and a permit is issued by the Bell County Floodplain Administrator.

DEEDS BEING OF RECORD:
VIA VALLE - BELLS LINEAR FEET - 0.380 ACRES

OWNER'S STATEMENT (for Record purposes)
We, the undersigned, the owners of lots in Terra Bella Subdivision, of record in Cabinet C, Slide 805-B, Plat Records of Bell County, Texas, do hereby agree to the Final Plat of Terra Bella Subdivision, Phase III, being a replat of Lots 1-3 and Lots 5-7, Block B, and Lot 10, Block 2, Terra Bella Subdivision, of record in Cabinet C, Slide 805-B, Plat Records of Bell County, Texas.

Recorded by: _____ Date: _____
 Signed by: _____ Date: _____



LINE	RECORD	DISTANCE	BEARING	AREA
1	11-21-2004	142.24	S 12° 00' 00" E	1.1249
2	11-21-2004	102.14	S 75° 00' 00" E	0.8234
3	11-21-2004	102.14	S 15° 00' 00" E	0.8234
4	11-21-2004	142.24	S 75° 00' 00" E	1.1249
5	11-21-2004	142.24	S 15° 00' 00" E	1.1249
6	11-21-2004	102.14	S 75° 00' 00" E	0.8234
7	11-21-2004	102.14	S 15° 00' 00" E	0.8234
8	11-21-2004	142.24	S 75° 00' 00" E	1.1249
9	11-21-2004	142.24	S 15° 00' 00" E	1.1249
10	11-21-2004	102.14	S 75° 00' 00" E	0.8234
11	11-21-2004	102.14	S 15° 00' 00" E	0.8234
12	11-21-2004	142.24	S 75° 00' 00" E	1.1249
13	11-21-2004	142.24	S 15° 00' 00" E	1.1249
14	11-21-2004	102.14	S 75° 00' 00" E	0.8234
15	11-21-2004	102.14	S 15° 00' 00" E	0.8234
16	11-21-2004	142.24	S 75° 00' 00" E	1.1249
17	11-21-2004	142.24	S 15° 00' 00" E	1.1249

OWNER	BLOCKS	ACRES	CHOP LENGTH	CHOP BEARING	NET AREA	BEARING	AREA
CO	12000	102.20	102.20	S 75° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 15° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 75° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 15° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 75° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 15° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 75° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 15° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 75° 00' 00" E	8.234	102.20	8.234
CO	12000	102.20	102.20	S 15° 00' 00" E	8.234	102.20	8.234

REVISIONS:

Final Plat of
**TERRA BELLA SUBDIVISION
PHASE III**
WITHIN THE EXTRATERRITORIAL JURISDICTION (ETJ) OF
THE VILLAGE OF SALADO, BELL COUNTY, TEXAS.

1800 South 2nd Street
Belton, Texas 76008-4008
254-710-7100
Fax: 254-714-7000
TX. Plat Lic. No. 0005800

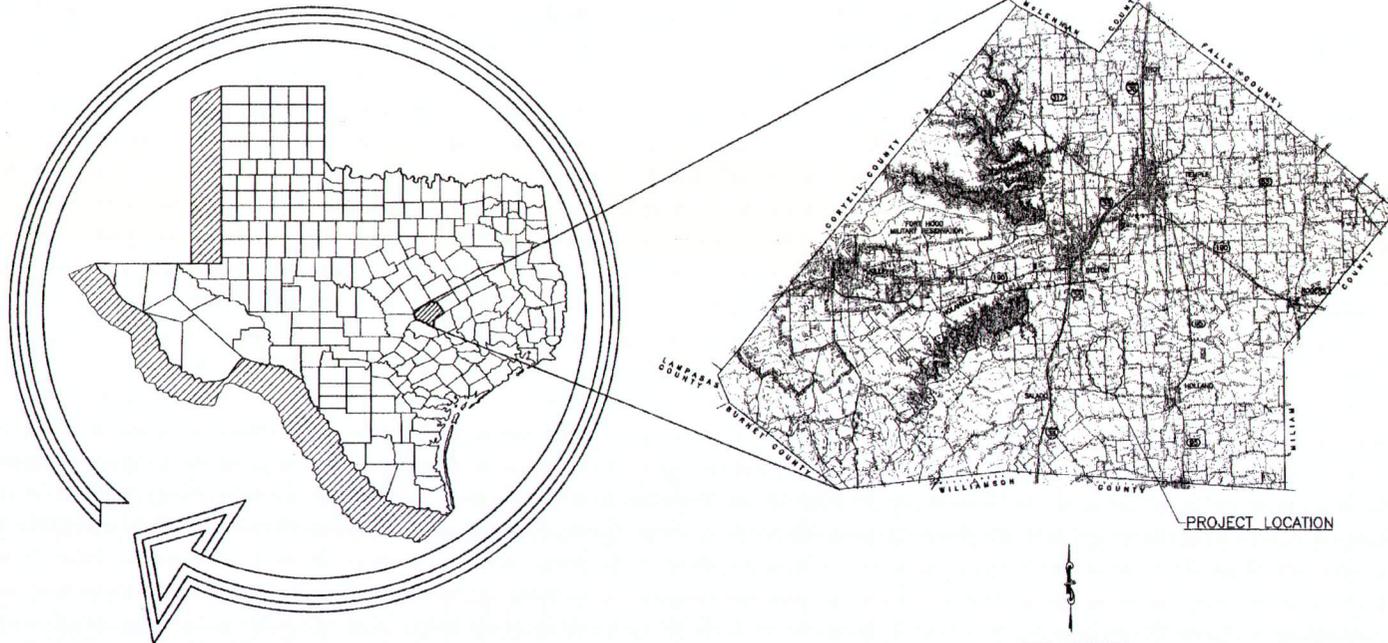


Job No: 180301
Date: 06-30-05
Scale: 1" = 100'
Drawn By: MDH
Checked By: GCL
Copyright © 2005 by ACS

ARMSTRONG W.S.C.

TERRA BELLA SUBDIVISION

WATER LINE EXTENSION



PROJECT LOCATION

BELL COUNTY

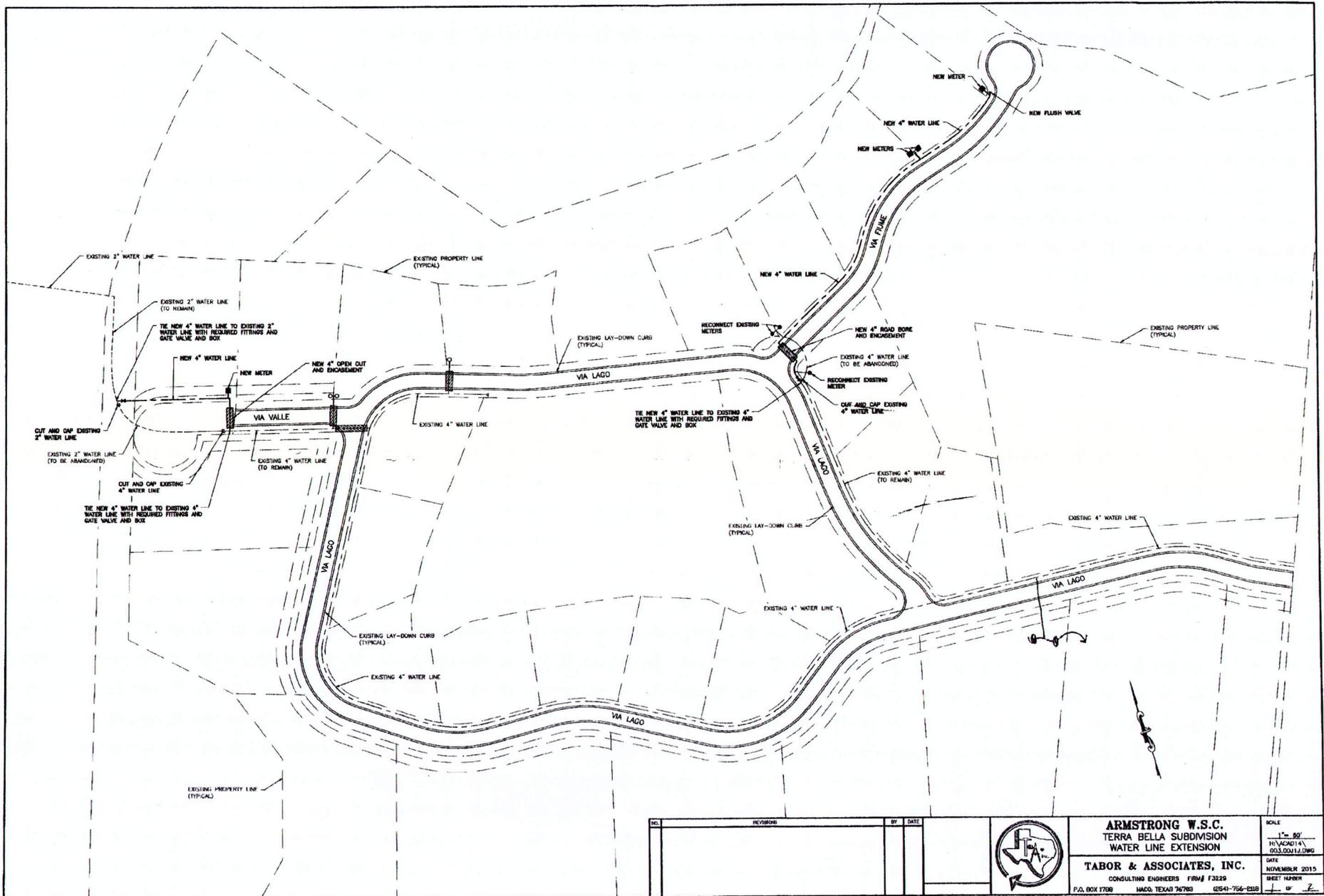


TABOR & ASSOCIATES, INC.

CONSULTING ENGINEERS

P.O. BOX 1708 WACO, TEXAS 76788 (817) 754-2119

PRELIMINARY
FOR REVIEW ONLY
SUBJECT TO CHANGE
TABOR & ASSOCIATES, INC.
[Signature]
Jody E. Tabor, P.E. 543677
Date: 11/20/15
NOT FOR BIDDING
OR CONSTRUCTION



NO.	REVISION	BY	DATE



ARMSTRONG W.S.C.
 TERRA BELLA SUBDIVISION
 WATER LINE EXTENSION
TABOR & ASSOCIATES, INC.
 CONSULTING ENGINEERS FIRM# T3229
 P.O. BOX 1709 MACO, TEXAS 76783 (817) 756-0310

SCALE
 1" = 50'
 H:\VACAD14\023.00412.DWG
 DATE
 NOVEMBER 2015
 SHEET NUMBER
 1 OF 1

SCALE: AS NOTED
 DATE: 11/15/07
 PROJECT: TERMA BETA SUBDIVISION WATER LINE EXTENSION
 CLIENT: TABOR & ASSOCIATES, INC.
 DRAWING NO: 22-0-766-218
 PROJECT NO: 1788



REVISIONS:
 NO. DATE BY

NOTES:
 1. COVER PIPE AND FITTINGS WITH 8 MIL. POLY. FIBER TO REINFORCEMENT OF THINSET BLOCK.
 2. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 3. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 4. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 5. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 6. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 7. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 8. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 9. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 10. ALL FITTINGS TO BE 1/2" DIA. OF CONCRETE OR ENCASED IN CONCRETE.
 11. TAPPING SLEEVES SHALL BE INSTALLED IN THE MIDDLE OF THE PIPE.
 12. TAPPING SLEEVES SHALL BE INSTALLED IN THE MIDDLE OF THE PIPE.

