



**WORKSHOP MEETING OF THE  
SALADO BOARD OF ALDERMEN**

**AGENDA**

**6:30 P.M., THURSDAY, APRIL 28, 2016  
MUNICIPAL BUILDING  
301 NORTH STAGECOACH, SALADO, TX  
BOARD OF ALDERMEN CHAMBERS**

**I. CALL TO ORDER**

**II. WORKSHOP AGENDA**

1. Discussion and update on drainage issues in the area of Chisholm Trail and Stagecoach Circle.
2. Discussion on an appointment to the Planning & Zoning Commission.

**III. EXECUTIVE SESSION**

3. Discuss economic development projects as authorized by Texas Government Code § 551.087, Economic Development, for incentive agreements with Stagecoach 1943 Limited Partners.

**IV. ADJOURN**

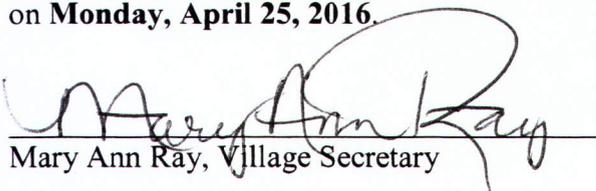
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The Village of Salado reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices) and 551.087 (Economic Development).

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This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the Village Secretary's office at (254) 947-5060 for further assistance.

I hereby certify that a true and correct copy of this Notice of Meeting was posted in a public place at 5:00 p.m. on **Monday, April 25, 2016.**

  
Mary Ann Ray, Village Secretary

Removed from display: \_\_\_\_\_



## KASBERG, PATRICK & ASSOCIATES, LP

CONSULTING ENGINEERS

One South Main  
Temple, Texas 76501

(254) 773-3731

Fax (254) 773-6667

mail@kpaengineers.com

RICK N. KASBERG, P.E.  
R. DAVID PATRICK, P.E., C.F.M.  
THOMAS D. VALLE, P.E.

November 8, 2007

Ms. Dianna Zulauf  
Village Secretary  
Village of Salado  
P. O. Box 219  
Salado, Texas 76571

Re: Village of Salado  
1407 Chisholm Trail – Drainage Concerns  
Salado, Texas

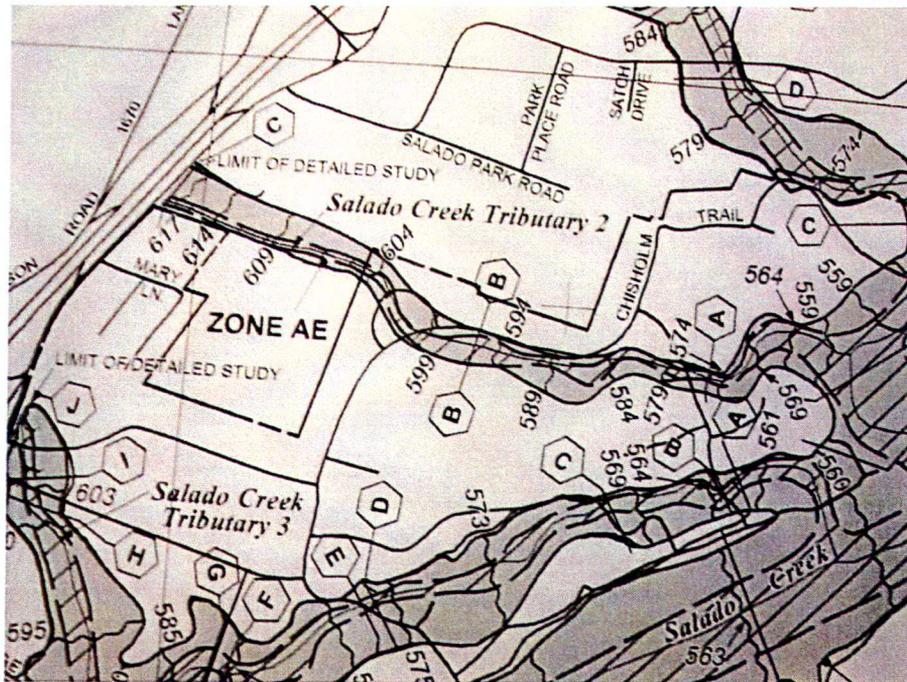
Dear Ms. Zulauf:

This letter is a summary of our site visit to investigate the drainage concerns at 1407 Chisholm Trail as requested by the Village of Salado. This property is located on the east side of Chisholm Trail near the northern intersection of Stagecoach Circle and Chisholm Trail. Drainage through this area is conveyed via roadside channel. Drainage through this area generally flows from east to west along Chisholm Trail. A culvert across Chisholm Trail conveys stormwater from the west side of the street to the east side.



*Figure 1: Driveway at 1407 Chisholm Trail*

It should be noted that this location is designated by the Federal Emergency Management Agency as being in Zone AE, which means it is within the 100-year Floodplain (See Figure 2). The subject property is approximately located to the left of Cross Section B-B near the 599 water surface elevation call out on the map excerpt shown below.



*Figure 2: FEMA Flood Insurance Rate Map*

The existing slope in this area is nearly flat, which tends to drain stormwater slowly. This has resulted in sedimentation of the existing roadside channel. The flat portion of the channel extends to the next set of culverts at the driveway of the adjacent property. Beyond that, the existing channel slope increases and drainage does not appear to be an issue. Three options for improving drainage through the area are outlined below:

Option 1: Because the subject property is located at least partially within the FEMA 100-year Floodplain, the only way to permanently ensure that future flooding will not occur would be to construct a conveyance that would have the capacity to convey the 100-year storm event. This would require an analysis of the watershed to determine peak flows, design of the conveyance (most likely an open channel), and acquisition of drainage easements for construction of the improvements. At present time, the costs for design, easement acquisition and construction make this an impractical option.

Option 2: A more cost effective long-term option which would improve drainage through the area would be to line the existing channel with concrete from the point where the existing culvert crosses Chisholm Trail to the driveway of the adjacent downstream property. The concrete lining would facilitate drainage by creating a smoother surface and would also be easier to maintain.

Ms. Dianna Zulauf  
November 8, 2007  
Page Three

Option 3: A short term remedy to the drainage problem would be to clean the silt out of the channel and reestablish positive drainage between the culverts. This would improve drainage, but it should be cautioned that because of the flat slope of the channel, additional silt buildup in the channel can be expected and regular maintenance will be required. **Before any work is performed, it is recommended that the Village of Salado contact all property owners adjacent to the channel to be cleaned to advise them of the improvements and their intended purpose.**

Please note that the improvements associated with Options 2 and 3, while more economically feasible than Option 1, do not ensure total protection from flooding; they will, however, improve drainage through the area and reduce the risk of flooding during smaller storm events.

If you have any questions or comments, please call.

Sincerely,

A handwritten signature in blue ink, appearing to read "John A. Simcik". The signature is fluid and cursive, with a large initial "J" and "S".

John A. Simcik, P.E., C.F.M.



**KASBERG, PATRICK & ASSOCIATES, LP**

CONSULTING ENGINEERS

Texas Firm F-510

RICK N. KASBERG, P.E.

R. DAVID PATRICK, P.E., C.F.M.

THOMAS D. VALLE, P.E.

Temple  
One South Main Street  
Temple, Texas 76501  
(254) 773-3731

Georgetown  
3613 Williams Drive, Suite 406  
Georgetown, Texas 78628  
(512) 819-9478

July 14, 2009

Mr. Danney McCort  
Alderman  
Village of Salado  
P. O. Box 219  
Salado, Texas 76571

Re: Stagecoach Circle Drainage  
Salado, Texas

Dear Mr. McCort:

This letter is a summary of our meeting on July 8, 2009 in which we performed an onsite visit and discussed the drainage at Stagecoach Circle. As you are aware, the area of concern is located within the FEMA designated 100-year floodplain. It is our understanding that you have been in contact with several of the homeowners on Stagecoach Circle who have expressed interest in cooperating with the Village of Salado to improve drainage through this area.

**Existing Conditions**

The drainage area for this location extends to the west of I-35 and is generally characterized as undeveloped, currently used for agricultural purposes (pasture). East of I-35, there is some commercial development (warehouses, etc.) which creates higher rates of storm runoff due to the increased amount of impervious cover (rooftops, parking lots, etc.). At the point where storm flow reaches Stagecoach Circle, the upstream watershed is estimated to cover approximately 135 acres. Based on existing conditions, the peak flow for a 25-year storm event is approximately 223 cfs.



**Figure 1**  
**Drainage Area Between Stagecoach Circle and I-35**

As observed during our onsite visit, drainage is conveyed by a defined open drainage channel between I-35 and rear lot lines of the properties on the west side of Stagecoach Circle. Once drainage reaches the lots along Stagecoach Circle, the channel becomes less defined and the conveyance capacity is greatly reduced. A 15-inch diameter reinforced concrete pipe (RCP) conveys stormwater east across Stagecoach Circle. Because this RCP is not large enough to convey the storm flow during more intense storms, some of the storm flow follows the drainage swale along the west side of Stagecoach Circle. During larger storm events, it is our understanding that stormwater has been observed to overtop Stagecoach Circle.

The stormwater that does cross Stagecoach Circle either through the culvert or by overtopping, generally flows east down the rear property line of the lots along the east side of Stagecoach Circle before crossing Chisholm Trail through corrugated metal pipe (CMP) culverts. Some of the stormwater also appears to flow down the drainage swale around the front of 1501 and 1601 Stagecoach Circle. This drainage then exits through a culvert across Stagecoach Circle and travels down the west side of Chisholm Trail. We understand that water has entered the house at 1501 Stagecoach Circle on more than one occasion.



**Figure 2**  
**Silted Drainage Swale West Side of Stagecoach Circle**

All of the stormwater eventually reaches Chisholm Trail and generally crosses over to the channel on the east side of Chisholm Trail via CMP culverts.

### **Recommended Improvements**

Please reference our letter dated November 8, 2007 where we addressed drainage problems at 1407 Chisholm Trail (directly east of Stagecoach Circle). In the referenced letter we stated the following:

“Because the subject property is located at least partially within the FEMA 100-year Floodplain, the only way to permanently ensure that future flooding will not occur would be to construct a conveyance that would have the capacity to convey the 100-year storm event. This would require an analysis of the watershed to determine peak flows, design of the conveyance (most likely an open channel), and acquisition of drainage easements for construction of the improvements. At present time, the costs for design, easement acquisition and construction make this an impractical option.”

As a more cost effective, albeit temporary improvement, grading / regrading of the existing drainage conveyances is recommended to remove buildups of silt and increase the capacity of existing drainage swales along Stagecoach Circle and associated properties. An exhibit is attached to this letter which outlines where the proposed grading improvements and channel cleaning should take place. Generally, existing drainage swales along Stagecoach Circle should be cleaned and reshaped to remove deposits of silt and increase capacity. The poorly defined drainage swale between 1500 Stagecoach Circle and the vacant lot to the south of it should be excavated to create a defined channel. The channel slope should tie in to the upstream flowline at the western property line and the flowline of the 15-inch diameter RCP at Stagecoach Circle.



**Figure 3**  
**Drainage Path Between 1500 Stagecoach Circle and Vacant Lot**

Regarding the lots between Stagecoach Circle and Chisholm Trail, a drainage swale needs to be cleaned out along the rear property line (see Figure 4) to provide a clear path for drainage to flow to the CMP culvert at Chisholm Trail. At the triangular open space located behind the back fence of 1601 Stagecoach Circle (see Figure 5), it is recommended that the area be excavated, with the owner's permission, to create additional storage capacity for stormwater. The area should be sloped to drain to the culvert at Chisholm Trail in order to maintain positive drainage and avoid extended periods of ponding on this lot. Outside of replacing washed out soil around the fence posts at 1407 Stagecoach Circle and around the culvert at Chisholm Trail (see Figure 6), all excavated material should be hauled offsite, out of the floodplain.



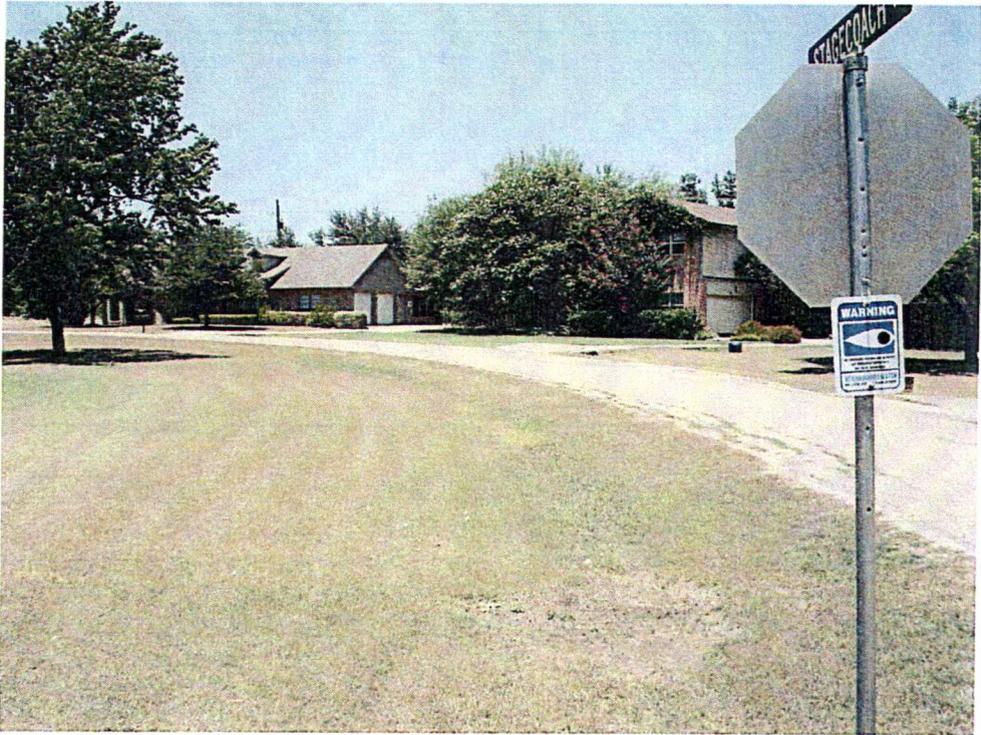
**Figure 4**  
**Backyard of 1501 Stagecoach Circle**



**Figure 5**  
**Backyard of 1601 Stagecoach Circle**



**Figure 6**  
**Upstream End of Culvert Across Chisholm Trail**



**Figure 7**  
**Drainage Swale Along Stagecoach Circle**

Mr. Danney McCort  
July 14, 2009  
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Lastly, buildups of silt were identified in the channel and culverts along Chisholm Trail. This area, located generally in front of 1407 Chisholm Trail, was previously cleaned based on recommendations made in November, 2007. The channel and culverts are shown below in Figure 7.

All areas disturbed by excavation / grading should be reseeded to establish vegetation once the work is complete.



**Figure 7**  
**Culverts at 1407 Chisholm Trail**

### **Regulatory and Construction Issues**

As mentioned earlier, this area is located within the FEMA designated 100-year floodplain. The Village of Salado Subdivision Ordinance does not allow for reclamation of any portion of the floodplain by filling. Therefore, any material that is excavated during the channel cleaning process must be hauled offsite to a location outside of the 100-year floodplain. With regards to the construction itself, state law requires a one-call to be performed by the contractor a minimum of 48 hours prior to excavation for location of all underground utility lines. More specifically, a power pole and a cable pedestal were identified in the vicinity of the proposed channel cleaning at 1501 Stagecoach Circle (see Figure 8). Extreme caution should be used when excavating in the vicinity of underground utilities. Finally, most of the proposed improvements are located on private property. The Village of Salado should seek written permission of all affected property owners prior to beginning any of the proposed work. Once work begins, care should be taken by the excavator to protect existing structures and vegetation (i.e. fences, trees, shrubs, culverts, etc.)



**Figure 8**  
**Existing Utilities in Backyard of 1501 Stagecoach Circle**

It is important to understand that the aforementioned recommended improvements are not intended to prevent all flooding occurrences in this area, nor are they permanent improvements. The purpose of the recommended improvements is to provide relief to properties that experience flooding on a regular basis. By increasing conveyance capacities, the frequency and risk of flooding to said properties will be reduced, but not eliminated. Regular maintenance of these drainage conveyances will be a necessity to ensure they have maximum available capacity in order to reduce future flooding risks. For this reason, it is recommended that the Village of Salado seek to acquire drainage easements for areas of improvements outside of the right-of-way to protect these drainage ways and allow for future maintenance. In addition, these improvements will not, nor are they intended to, remove any properties from the FEMA designated 100-year floodplain.

If you have any questions, please call.

Sincerely,

John A. Simcik, P.E., C.F.M.

xc: Ms. Dianna Zulauf, Village of Salado  
Mayor Merle Stalcup, Village of Salado

APR 28 2016



Municipal Building  
P.O. Box 219  
Salado, TX 76571  
254-947-5060  
Fax: 254-947-5061

Application **must** be accompanied by a letter of interest and resumé.  
Incomplete applications will not be accepted.

**Village of Salado Application for Boards and Commissions**

Name: ALICE GUENTHER  
Address: PO BOX 605 410 N. CHURCH STREET SALADO, TX 76571  
Home Phone: \_\_\_\_\_ Alternate Phone: \_\_\_\_\_  
E-Mail \_\_\_\_\_

Do you live inside the City Limits? Yes  No \_\_\_\_\_  
Are you registered to vote in Bell County? Yes  No \_\_\_\_\_

**For Board of Aldermen positions only:**

Are you a US Citizen? Yes \_\_\_\_\_ No \_\_\_\_\_  
Are you 18 years of age or older? Yes \_\_\_\_\_ No \_\_\_\_\_  
Has a final judgment been entered finding you totally mentally  
incapacitated; or partially mentally incapacitated without the right  
to vote? Yes \_\_\_\_\_ No \_\_\_\_\_  
Have you been convicted of a felony? Yes \_\_\_\_\_ No \_\_\_\_\_  
If Yes, explain: \_\_\_\_\_  
Have you lived inside the Village Limits for more than 6 months and the  
state for more than 12 months? Yes  No \_\_\_\_\_

**Please check the Board or Commission on which you would like to serve:**

- Board of Aldermen (to finish an unexpired term only)
- Planning & Zoning Commission
- Economic Development Committee
- Main Street Committee
- Wastewater Committee
- ETJ/Annexation Committee
- Ordinance Committee
- Street Improvements Committee
- Environmental Committee
- Trails and Parks Committee
- Public Safety/Emergency Mgmt Committee
- Naming/Renaming Committee
- Other: \_\_\_\_\_

Signature Alice Guenther Date: 4/28/16

- Step 1:** Fill out this application. Attach letter of interest and resumé.
- Step 2:** Mail or fax the **application, letter of interest, and resumé** to the Village office.  
Applications may be hand delivered to the Municipal Building at 301 N. Stagecoach Road.

Note that some information on this application is public information. Please make your selections below:

I, ALLIE GUENTHER, hereby make the following election with respect to allowing public access to information in the custody of the Village of Salado that relates to my home address, telephone number, and information that reveals whether I have family members.

I do **not** want the Village of Salado to disclose or allow public access to the following: (please initial by the items)

My home address     My telephone number     E-mail address  
 Information that reveals whether I have family members.

If you have any questions about the process or about a particular board or commission, please call the Village Secretary at (254) 947-5060.

Allie Guenther  
Signature

4/28/16  
Date



FEB 4 2016

Municipal Building  
P.O. Box 219  
Salado, TX 76571  
254-947-5060  
Fax: 254-947-5061

**Village of Salado Application for Boards and Commissions**

Name: William E. Kinnison  
Address: [Redacted], Salado, TX 76571  
Home Phone: [Redacted] Alternate Phone: N/A  
E-Mail: [Redacted]

Do you live inside the City Limits? Yes  No   
Are you registered to vote in Bell County? Yes  No

**For Board of Aldermen positions only:**

Are you a US Citizen? Yes  No   
Are you 18 years of age or older? Yes  No   
Has a final judgment been entered finding you totally mentally incapacitated; or partially mentally incapacitated without the right to vote? Yes  No   
Have you been convicted of a felony? Yes  No   
Have you lived inside the City Limits for over 6 months and the State for over 12 months? Yes  No

**Please check the Board or Commission you would like to serve:**

- Board of Aldermen (to finish an unexpired term only)
- Planning & Zoning Commission
- Economic Development Committee
- Main Street Committee
- Wastewater Committee
- ETJ/Annexation Committee
- Other, Trail and Parks Committee

Signature William E. Kinnison Date: Feb 4, 2016

**Step 1:** Fill Out This Application  
**Step 2:** Mail or fax the **application, letter of interest, and resume** to the Village office at 947-5061.

William E. Kinnison

February 4, 2016

Village of Salado  
P.O. Box 219  
Municipal Building  
Salado, Texas 76571

To the Aldermen of the Village of Salado:

I am interested in further serving the community of Salado through participation in one or more Commissions and/or Committees, specifically on the Planning and Zoning Commission and Trail and Parks Committee.

I believe the skills and knowledge I acquired working for the Army have benefited the volunteer work I have undertaken in Salado. I have strong organizational skills and thoroughly research issues before establishing a position to take action on. Having lived in Salado for the past 15 years, I have an understanding of the growing pains the Village is going through and would like to contribute my talents and knowledge toward seeing them resolved in a satisfactory manner if at all possible.

My skills in leading the development of Salado College Park will be an asset to furthering and improving the development of Salado's Hike and Bike Trail Master Plan. I have a copy of the Plan and have read it and use it with Salado College Park. I cooperate with Keep Salado Beautiful and fully see how their efforts can be incorporated into this Plan to beautify the trails and parks.

My interest in preserving and promoting the history of Salado will benefit the P&Z Commission. I understand the interest visitors and citizens have in preserving the historic sites and buildings in Salado. It will be my purpose in serving on the P&Z Commission to see that these places are preserved so that they may enhance the overall ambiance and feel of being in an historic village such as Salado. I see historical preservation and progress working together to promote Salado and not as a hindrance to its future growth.

Thank you for considering my application.

Sincerely,



William E. Kinnison

Resume  
for  
William E. Kinnison

[REDACTED]  
[REDACTED]  
[REDACTED]

Born in San Antonio, Texas, 1943

On and off resident of Salado since 1962.

Permanent resident since 2000.

Owner of historic property: Anderson House and Old Salado Saloon at 35 S. Main St.

BA Tarleton State College, 1966

MA University of Texas, 1977

Doctoral Program Texas A&M University, 1977-79

Post Graduate Certificate, Harvard University, 1998

U.S. Civil Service, Dept. of Army, 41 years. Education Officer. Retired 2010.

Volunteer work in Salado since retired:

- Friends of the Salado Library, President 7 years. Raised \$20,000 for Library addition.
- Salado Public Library District, Board of Trustees since 2009. Undertook project to expand (almost doubled the size) Library. Offices held: Treasurer, Vice President, currently President.
- Salado Cemetery Association, Board Member since 2010. Plans Memorial Day ceremony for past 5 years.
- Robertson Colony-Salado College Foundation, Inc. Treasurer and currently President. Lead efforts to landscape park areas, preserve ruins, and successfully wrote Texas Parks & Wildlife Trail grant.
- Salado Historical Society, Board of Directors since 2010. President 2015. Headed creation of new program for Historic Cemetery Tour in 2015.

Volunteer work in Salado before retirement: Salado Education Foundation, Board Member for 6 years, two of which were as President.



Municipal Building  
P.O. Box 219  
Salado, TX 76571  
254-947-5060  
Fax: 254-947-5061

**Village of Salado Application for Boards and Commissions**

Name: JIM REED  
Address: [REDACTED]  
Home Phone: [REDACTED] Alternate Phone: [REDACTED]  
E-Mail: [REDACTED]

Do you live inside the City Limits? Yes  No   
Are you registered to vote in Bell County? Yes  No

**For Board of Aldermen positions only:**

Are you a US Citizen? Yes  No   
Are you 18 years of age or older? Yes  No   
Has a final judgment been entered finding you totally mentally incapacitated; or partially mentally incapacitated without the right to vote? Yes  No   
Have you been convicted of a felony? Yes  No   
Have you lived inside the City Limits for over 6 months and the State for over 12 months? Yes  No

**Please check the Board or Commission you would like to serve:**

- Board of Aldermen (to finish an unexpired term only)
- Planning & Zoning Commission
- Economic Development Committee
- Main Street Committee
- Wastewater Committee
- ETJ/Annexation Committee
- Ordinance Committee
- Street Improvements Committee
- Environmental Committee
- Trails and Parks Committee
- Public Safety / Emergency Management Committee
- Naming / Renaming Advisory Board
- Deer Advisory Board
- Other: \_\_\_\_\_

Signature [Signature] Date: 2/24/16

**Step 1: Fill Out This Application**

**Step 2: Mail or fax the application, letter of interest, and resume' to the Village office at 254-947-5061.**

*Please be aware that some information on this application is public information. Make your selections below:*

I, JIM REED, hereby make the following election with respect to allowing public access to information in the custody of the Village of Salado that relates to my home address, telephone number, and social security number or that reveals whether I have family members.

I do *not* want the Village of Salado to disclose or allow public access to the following: (please initial by the items)

My home address;  My telephone number;  My social security number;  
 Information that reveals whether I have family members.

If you have any questions about the process or about a particular board or commission, please call Mary Ann Ray at (254) 947-5060.



Municipal Building  
P.O. Box 219  
Salado, TX 76571  
254-947-5060  
Fax: 254-947-5061

**Village of Salado Application for Boards and Commissions**

Name: Cameron "Guy" Slind  
Address: [REDACTED]  
Home Phone: [REDACTED] Alternate Phone: \_\_\_\_\_  
E-Mail: [REDACTED]

Do you live inside the City Limits? Yes \_\_\_\_\_ No X  
Are you registered to vote in Bell County? Yes X No \_\_\_\_\_

**For Board of Aldermen positions only:**

Are you a US Citizen? Yes X No \_\_\_\_\_  
Are you 18 years of age or older? Yes X No \_\_\_\_\_  
Has a final judgment been entered finding you totally mentally incapacitated; or partially mentally incapacitated without the right to vote? Yes \_\_\_\_\_ No X  
Have you been convicted of a felony? Yes \_\_\_\_\_ No X  
Have you lived inside the City Limits for over 6 months and the State for over 12 months? Yes \_\_\_\_\_ No X

**Please check the Board or Commission you would like to serve:**

- Board of Aldermen (to finish an unexpired term only)
- Planning & Zoning Commission
- Economic Development Committee
- Main Street Committee
- Wastewater Committee
- ETJ/Annexation Committee
- Other, Ordinance Committee

Signature [Signature] Date: 1/27/2016

**Step 1:** Fill Out This Application  
**Step 2:** Mail or fax the application, letter of interest, and resume to the Village office at 947-5061.

*Please be aware that some information on this application is public information. Please make your selection below:*

I, Cameca Slomp, hereby make the following election with respect to allowing public access to information in the custody of the Village of Salado that relates to my home address, telephone number, and social security number or that reveals whether I have family members.

I do *not* want the Village of Salado to disclose or allow public access to the following: (please initial by the items)

My home address;  My telephone number;  My social security number;  
 Information that reveals whether I have family members.

If you have any questions about the process or about a particular board or commission, please call Mary Ann Ray at (254) 947-5060.

Revised 7-15



# STATEMENT OF ELECTED/APPOINTED OFFICER

*(Pursuant to Tex. Const. art. XVI, §1(b), amended 2001)*

I, \_\_\_\_\_, do solemnly swear (or affirm), that I have not directly or indirectly paid, offered, promised to pay, contributed, or promised to contribute any money or thing of value, any public office or employment for the withholding of a vote at the election at elected or as a reward to secure my or confirmation, whichever the case help me God.

*If selected for  
Planning & Zoning or  
Board of Aldermen,  
you will be required  
to sign a Statement of  
Appointed Official  
and an Oath of Office.*

or promised giving or which I was appointment may be, so

**UNDER PENALTIES OF PERJURY, I DECLARE  
READ THE FOREGOING STATEMENT AND  
FACTS STATED THEREIN ARE TRUE.**

**THAT I HAVE  
THAT THE**

\_\_\_\_\_  
Date

\_\_\_\_\_  
Affiant's Signature

\_\_\_\_\_  
Position to Which Elected/Appointed

\_\_\_\_\_  
Salado, Texas  
City



## DB Commercial Real Estate

A DAVIS-BEEVERS COMPANY

Fax (254) 774-9999  
(254) 771-5959

Village of Salado  
P.O. Box 219  
Salado, TX 76571

27 January 2016

**Subject: Letter of interest regarding selection as a committee member on one of the following boards. Planning and Zoning Commission, Economic Development Committee, Ordinance Committee**

To whom it may concern,

As someone who works with various related municipal committees across the state on a regular basis I believe my experience could be of service to our community. Through my work I understand the importance of these committees and how they shape our Village. As a resident of Salado and with the hope of being a resident for years to come I'd like to be able to help preserve who we are and what we will look like in our future. All of us live in Salado for a reason and if chosen I'd be honored to help retain what makes Salado such a great place to live.

V/R,

Guy Slimp  
Director of Development  
DB Commercial  
6 South 1<sup>st</sup> St.  
Temple, TX. 76501  
254-771-5959 ext. 124



Individual Members

6 South 1<sup>st</sup> Street, Temple, TX 76501  
P.O. Box 2367, Temple, TX 76503  
[www.dbcre.com](http://www.dbcre.com)



Individual Membership  
SOCIETY OF INDUSTRIAL  
AND OFFICE REALTORS

# Cameron L. Slimp

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## PROFESSIONAL EXPERIENCE

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- **DB Commercial Real Estate**, Temple, TX April 2012 – Present  
Director of Development
  - Commercial land development to include brokerage services, general contractor management and land entitlement.
  - Coordinate construction plan set development with architect, civil and MEP engineers.
  - Handle directly any zoning, variance, platting, or permitting including TXDOT, TCEQ, and any local jurisdiction authority.
  
- **Leggett Tactical Solutions**, Eden, TX *December 2010 – January 2012*  
Partner
  - Partner in the startup of a Military textile manufacturing business
  - Manage employees and oversee business/financial aspects as well as designing and building new product lines
  
- **United States Army**, Fort Hood, TX/Camp Taji, Iraq *March 2010 – December 2010*  
Operations Officer/First Lieutenant
  - Responsible for the management of Organizational Equipment property books and seven sub hand receipts valued in excess of \$18.3 million
  - Responsible for the readiness and maintenance of all company vehicles and assigned equipment. Acted as Company Commander on numerous occasions in the absence of the Commander
  
- **United States Army**, Fort Hood, TX/Camp Taji, Iraq *February 2008 – March 2010*  
Platoon Leader/Second Lieutenant-First Lieutenant
  - Responsible for the operation of a six point Forward Arming and Refueling Point within Multinational Division-Baghdad's operating environment
  - Responsible for the combat readiness, training, health, welfare, and professional development of 77 Soldiers and NCOs

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## EDUCATION AND CERTIFICATIONS

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- **Texas A&M University**, College Station, TX *2003 - 2007*
  - Bachelor of Science in Agriculture Leadership and Development
- Basic Officer Leaders Course I and II Fort Lewis, Washington and Fort Benning, GA
- Quartermaster Officer Basic Course Fort Lee, VA

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## HONORS AND EXTRACURRICULAR ACTIVITIES

---

- Two Army Commendation Medals, Army Achievement Medal, Meritorious Unit Commendation, National Defense Service Medal, Global War on Terror Service Medal, Iraqi Campaign Medal with Campaign Star, Army Service Ribbon, Overseas Service Ribbon, Driver and Mechanic Badge
  - American Petroleum Institute's award for Best Tactical Petroleum Operation for 2009
  - Corps of Cadets, Member, Fall 2003 – Spring 2007
-



*Please be aware that some information on this application is public information. Please make your selection below:*

I, ERIC STORZ, hereby make the following election with respect to allowing public access to information in the custody of the Village of Salado that relates to my home address, telephone number, and social security number or that reveals whether I have family members.

I do *not* want the Village of Salado to disclose or allow public access to the following: (please initial by the items)

SS My home address; SS My telephone number; SS My social security number;  
SS Information that reveals whether I have family members.

If you have any questions about the process or about a particular board or commission, please call Mary Ann Ray at (254) 947-5060.

Revised 7-15

# Eric Stone

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**February 2, 2016**

Village of Salado

Re: Board and Committee Selection

**Dear Sirs or Madams:**

I would like to volunteer myself for consideration on the Planning and Zoning Commission and or the Economic Development Committee. I have been native of Salado since 2005 and have loved my time here, but would like to donate my time as would be most effective to better our community.

Attached you will find my resume. I have a varied skill set which would serve us well. Below I set out a several key bullet points regarding me and my experience

- Married 16 years, 2 children (10 and 8), both attend Thomas Arnold
- Member 1<sup>st</sup> Baptist Church Salado
- Bachelor's Degree in Finance
- Master's Degree in Business Administration
- Own and maintain two rental properties in Salado city limits
- Involvement with over 100+ Construction Projects of varying types and budgets.
- Familiar with zoning and permitting process and what the city and developer/contractor needs are.

**Thank you for consideration,**

**Eric Stone**

# Eric Stone

## Profile

Proven track record for the development, coordination and supervision of all scheduling and delay claim functions over a 10-15 project portfolio. I've been successful at directing Project Management (10+ direct reports), providing technical support and employee development. In addition, I assist members of the project management team in planning, scheduling, cost control analysis, and problem solving. **I bring over 700MM in US Army COE Project Experience and over 1 Billion overall Project Experience over a diverse set of projects.**

## Scheduling Program

I offer a comprehensive scheduling program for the organization. Beginning with RFP schedules, I will oversee and/or develop. Project construction schedules will be developed alongside the Project Superintendent/Project Manager which insures buy-in from the project's management. Initial construction schedule level of detail is built the the idea that Less is More. Activity level of detail is held to a minimum activity count to allow for a schedule which is clearly readable to the Project Superintendent, Project Manager, Upper Level Management, and key Subcontractors. The level of detail required will be determined by the project's risks: self-performed work, long lead materials, weak subcontractors, and overall sequence of construction. Additional activities will be added as the project progress to account for delay claims, change orders, previously un-accounted for sequence of construction, subcontractor delay mitigation, etc. Monthly schedule updates are performed by the Project Management Staff, a technical review by myself, followed by virtual meeting with myself and the Project Staff where schedule changes are made then prior to schedule distribution. Following the update, a comprehensive schedule narrative will be developed by the Project Management Staff and review by me prior to issue. Any delay claims will be generally be handed by myself to ensure the claim is solid, better positioning the contractor (reduce concurrent delays), and provide the best explanation and graphics with the schedule narrative. One on one and group training (software and narrative) will be provided by me, using material specifically developed to support the scheduling program of the company.

## Credentials

I hold a Bachelor of Science Degree in Finance from the University of Missouri-Columbia and a Master Degree in Business Administration from William Woods University. I have been with MW Builders for 11+ years and 15 + years of overall construction experience.

## Education

Masters – Business Administration – William Woods University  
Bachelor of Science – Finance – University of Missouri-Columbia

## Certifications

Primavera P3 Certification  
Primavera P6 Advanced Level Certification

## Construction Experience: 15 Years

### Employment Highlights

#### **2004-Present - MW Builders, Inc. – Project Controls Manager & Scheduling Engineer**

- Oversee all of MW Builders' scheduling program both at estimating and contracting stage.
- +700 MM USCOE Completed Project Experience
- +1 Billion Completed Overall Project Experience
- ~70 Completed Project Experience
- 5 projects working with 8a Contractors
- 15 Education Projects
- 7 Student Housing (multifamily)
- **Project Delay Claims: Over 900 days of Time and General Conditions won over the past 2 years.**

#### **1999-2004 – Hill-Huffman Construction, LLC – Project Engineer/Project Manager**

- 9 M.G.D. Water Treatment Plant – Dyersburg, TN
- 20 MW Design - Build Power Plant – Poplar Bluff, MO

# Eric Stone

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## References

Jason Evelyn  
MW Builders  
254-534-3802

Mr. Jason D. Price  
US Army Corps of Engineers – Ft. Worth District, Contracting Division  
(817) 886-1655

Greg Herriott  
Pepper Creek Development  
(512) 569-8895

## Current Projects in Progress

PROJECT	LOCATION	OWNER	CONTRACT AMOUNTS	SCHEDULED COMPLETION
U.S. Army Reserve Center	Las Vegas, NV	U.S. Army COE	\$24,962,741	09/2013
Seminole Primary, High School & FJ Young Elementary	Seminole, TX	Seminole ISD	\$50,272,868	12/2013
69th ADA Company Operations Facility	Ft. Hood, TX	U.S. Army COE	\$23,481,000	11/2013
ACS Complex Phase 1A UEPH	JBLM, WA	U.S. Army COE	\$24,859,641	01/2014
PAL- Candlewood Suites	Ft. Hood, TX	Lend Lease	\$10,000,000	01/2014
Kiowa District Hospital	Kiowa, KS	Kiowa District Hospital	\$1,300,000	02/2014
FedEx Ground Facility	Lindale, TX	Jones Development	Confidential	06/2014
FedEx Freight Facility	Robinson, TX	Setzer Properties	Confidential	12/2013
Walmart	Cedar Park, TX	Walmart	\$16,000,000	03/2014
Midland Shared Spaces	Midland, TX	Midland Shared Spaces	\$5,800,000	10/2013
Midland Horseshoe Pavillion	Midland, TX	Midland County	\$25,000,000	12/2013
Element Hotel	Lebanon, NH	Norwich Partners Alteria Fund	Confidential	07/2014
Home 2 Suites	Canberry, PA	Creative Realestate Development	Confidential	03/2014
Woodend Industrial Building	Edwardsville, KS	Jones Development	Confidential	02/2014
FY13 Engineer Battalion COF	Ft. Leonard Wood	U.S. Army COE	\$13,700,000	12/2014
Ector County ISD 21012 Bond Program	Odessa, TX	Odessa ISD	\$50,000,000	
Midland ISD 2012 Bond Program	Midland, TX	Midland ISD	\$41,900,000	

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# Eric Stone

## Completed Project List

PROJECT	LOCATION	OWNER	CONTRACT AMT	COMPLETION DATE
Aberdeen Place Apartments	Huntsville, TX	Place Properties	\$ 12,386,175	08/2007
Abilene Air Traffic Control Tower & Admin	Abilene, TX	Federal Aviation Admin.	\$ 11,298,363	11/2011
Access Control Points	Ft. Hood, TX	U.S. Army COE	\$ 28,212,249	05/2005
Angelo Place Apartments	San Angelo, TX	Place Properties	\$ 11,725,438	08/2007
Army Reserve Equipment Site	Lakehurst, NJ	U.S. Army COE	\$ 12,268,306	02/2013
ASCO Equipment Facility	Belton, TX	ASCO Equipment	\$ 2,142,951	01/2012
Battle Command Training Center	Ft. Riley, KS	U.S. Army COE	\$ 23,833,548	04/2009
Borger Elementary School and High School Auditorium Alterations	Borger, TX	Borger ISD	\$ 22,834,900	12/2008
Borger ISD Elementary School	Borger, TX	Borger ISD	\$ 17,460,011	08/2008
Borger ISD High School Additions/Renov.	Borger, TX	Borger ISD	\$ 7,746,206	07/2010
Borger ISD Middle School Renovations	Borger, TX	Borger ISD	\$ 5,107,403	12/2008
Brigade Command and Control Facility	Ft. Hood, TX	U.S. Army COE	\$ 7,256,107	03/2007
Central Texas College Building	Ft. Hood, TX	Central Texas College	\$ 4,568,352	12/2009
City of Midland Centennial Plaza	Midland, TX	City of Midland	\$ 1,736,000	12/2009
Coleman Place Apartments	Little Rock, AR	Place Properties	\$ 11,560,000	08/2008
CTC - Central Texas College Classroom Bldg	Ft. Hood, TX	Place Properties	\$ 6,700,000	12/2008
D/B Acer Building #3	Temple, TX	Jencer Investments	\$ 4,468,893	03/2009
D/B AIT Barracks Complex - Phase 1	Ft. Leonard Wood, MO	U.S. Army COE	\$ 51,277,910	08/2011
D/B Army Growth Complex	Ft. Lewis, WA	U.S. Army COE	\$ 23,746,935	12/2009
D/B BCT Barracks Complex	Ft. Lewis, WA	U.S. Army COE	\$ 48,339,523	07/2011
D/B SUA Custer Hill Barracks	Ft. Riley, KS	U.S. Army COE	\$ 42,200,326	08/2008
D/B Unit Operations Facility	Ft. Hood, TX	U.S. Army COE	\$ 17,684,995	11/2009
D/B Whole Barracks Complex	Ft. Hood, TX	U.S. Army COE	\$ 43,391,832	07/2009
D/B WIT Barracks Complex	Ft. Riley, KS	U.S. Army COE	\$ 25,351,447	05/2010
D/B UEPH Barracks Complex	Ft. Lewis, WA	U.S. Army COE	\$ 23,697,000	04/2010
Enlisted Barracks V	Ft. Hood, TX	U.S. Army COE	\$ 46,423,897	10/2008
Flagship Motorpool	Ft. Hood, TX	U.S. Army COE	\$ 6,546,000	04/2009
FY09 Brigade Transformation Barracks	Ft. Riley, KS	U.S. Army COE	\$ 14,470,838	03/2010
FY10 Adapt-Build UEPH Barracks	Ft. Riley, KS	U.S. Army COE	\$ 18,400,717	07/2011
FY11 AIT Barracks - Phase 2	Ft. Leonard Wood, MO	U.S. Army COE	\$ 21,586,489	03/2013
FY11 UEPH Barracks	Ft. Riley, KS	U.S. Army COE	\$ 10,497,000	08/2012
Helen Greathouse Manor	Midland, TX		\$ 16,027,825	09/2005
High View Place Student Housing	San Antonio, TX	Place Properties	\$ 16,642,000	08/2009
Hill Country Place Apartments	San Antonio, TX	Place Properties	\$ 17,377,000	08/2008
Hill Place Student Housing	Fayetteville, AR	Place Properties	\$ 23,200,000	08/2009
Horny Toad Harley Davidson Dealership	Temple, TX	Knucklehead Properties	\$ 4,194,708	04/2009
IBM Remodel-Skanska	Austin, TX	IBM, Inc.		
Killeen Airport Paving	Killeen, TX	Killeen Airport		
K-State Univ. Basketball Training Facility	Manhattan, KS	State of Kansas	\$ 12,228,207	10/2012
Marian Blakemore Planetarium	Midland, TX	Museum of the Southwest	\$ 2,392,000	06/2009
Midland County Jail Expansion - Phase 1	Midland, TX	Midland County	\$ 1,067,000	12/2009
Midland County Jail Expansion - Phase 2	Midland, TX	Midland County	\$ 15,172,770	12/2011
Midland ISD Sam Houston Addition	Midland, TX	Midland ISD	\$ 3,502,000	04/2009
Midland ISD Santa Rosa Addition	Midland, TX	Midland ISD	\$ 1,859,000	04/2009
Paul Belton Early Education Center	Borger, TX	Borger ISD	\$ 3,899,993	11/2008
Physical Fitness Center	Ft. Hood, TX	U.S. Army COE	\$ 5,953,000	07/2008
Pipeline Student Dorm	Goodfellow AFB San Angelo, TX	U.S. Army COE	\$ 17,346,900	02/2006
Repair Construct RSO OPS SCIF	Whiteman AFB	U.S. Army COE	\$ 8,259,000	04/2011
RRISD Opportunity Center	Round Rock, TX	Round Rock ISD	\$ 2,600,000	06/2009
RRISD Stony Point High School Addition	Round Rock, TX	Round Rock ISD	\$ 4,800,000	06/2009
Sam Houston Elementary Additions & Renovations	Midland, TX	Midland ISD	\$ 5,500,000	
Santa Rita Elementary Additions & Renovations	Midland, TX	Midland ISD	\$ 5,800,000	
Scott & White Urgent Care Clinic	Killeen, TX	Frauenschuh Healthcare	\$ 2,765,300	07/2012
Seminole Junior High School Complex	Seminole, TX	Seminole ISD	\$ 31,286,585	07/2010
SH195 Access Control Points	Killeen, TX	Joe Bland Construction	\$ 3,911,000	12/2009
Snyder Elementary School	Snyder, TX	Snyder ISD	\$ 18,991,099	04/2007
St. Bernard Manor	Meraux, LA	Archdiocese of New Orleans	\$ 9,172,958	02/2013

## Eric Stone

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Stonegate Fellowship Church/Educational Facility	Midland, TX	Stonegate Fellowship	\$ 8,538,614
Student Dorm and Dining	Lackland AFB San Antonio, TX	U.S. Army COE	\$ 32,348,921
SUA Custer Hill Barracks	Ft. Riley, KS	U.S. Army COE	\$ 42,200,326
Tactical Equipment Shops	Ft. Hood, TX	U.S. Army COE	\$ 20,421,000
Texas State Veterans Home	Tyler, TX	Texas Land Board	\$ 15,266,547
The Domain Demolition and Remodeling Project	Austin, TX	Domain Group	
Tryon III Student Housing	Belton, TX	University of Mary Harden Baylor	\$ 5,429,141
VOLAR Barracks Renovation	Ft. Riley, KS	U.S. Army COE	\$ 31,700,310
Whole Barracks Complex VI	Ft. Hood, TX	U.S. Army COE	\$ 43,391,000
FY11 TBUP Barracks Renovation	Ft. Leonard Wood, MO	U.S. Army COE	\$ 35,030,932

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FEB 19 2016

Municipal Building  
P.O. Box 219  
Salado, TX 76571  
254-947-5060  
Fax: 254-947-5061

**Village of Salado Application for Boards and Commissions**

Name: CURTIS STRONG  
Address: 702 WHISPERING OAKS  
Home Phone: 308-0788 Alternate Phone: 718-7387  
E-Mail: CSTRONG@MYGRANDE.NET

Do you live inside the City Limits? Yes  No   
Are you registered to vote in Bell County? Yes  No

**For Board of Aldermen positions only:**

Are you a US Citizen? Yes  No   
Are you 18 years of age or older? Yes  No   
Has a final judgment been entered finding you totally mentally incapacitated; or partially mentally incapacitated without the right to vote? Yes  No   
Have you been convicted of a felony? Yes  No   
Have you lived inside the City Limits for over 6 months and the State for over 12 months? Yes  No

**Please check the Board or Commission you would like to serve:**

- Board of Aldermen (to finish an unexpired term only)
- Planning & Zoning Commission
- Economic Development Committee
- Main Street Committee
- Wastewater Committee
- ETJ/Annexation Committee
- Ordinance Committee
- Street Improvements Committee
- Environmental Committee
- Trails and Parks Committee
- Public Safety / Emergency Management Committee
- Naming / Renaming Advisory Board
- Deer Advisory Board
- Other: \_\_\_\_\_

Signature Curtis Strong Date: Febr 19, 2016

**Step 1:** Fill Out This Application

**Step 2:** Mail or fax the **application, letter of interest, and resume** to the Village office at 254-947-5061.

*Please be aware that some information on this application is public information. Make your selections below:*

I, Curtis Strong, hereby make the following election with respect to allowing public access to information in the custody of the Village of Salado that relates to my home address, telephone number, and social security number or that reveals whether I have family members.

I do **not** want the Village of Salado to disclose or allow public access to the following: (please initial by the items)

       My home address;        My telephone number; CNS My social security number;  
CNS Information that reveals whether I have family members.

If you have any questions about the process or about a particular board or commission, please call Mary Ann Ray at (254) 947-5060.



**STATEMENT OF ELECTED/APPOINTED OFFICER**

*(Pursuant to Tex. Const. art. XVI, §1(b), amended 2001)*

I, Curtis Strong, do swear (or affirm), that I have not indirectly paid, offered, promised to contributed, or promised to contribute or thing of value, or promised any or employment for the giving or of a vote at the election at which I was a reward to secure my appointment or confirmation, whichever the case may be, so help me God.

*If selected for Planning & Zoning or Board of Aldermen, you will be required to sign a Statement of Appointed Official and an Oath of Office.*

solemnly directly or pay, any money public office withholding elected or as

**UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING STATEMENT AND THAT THE FACTS STATED THEREIN ARE TRUE.**

2/19/2016  
Date

Curtis M. Strong  
Affiant's Signature

\_\_\_\_\_  
Position to Which Elected/Appointed

Salado, Texas  
City

## **Curtis N. Strong, Jr.**

\*Born in San Antonio, graduated from Brackenridge, High.

\*Graduate University of Texas-BS Chemical Engineering 1962.

\*Career was with TOTAL-FINA an international oil company for 30 years.

- Process engineering, specializing in plastics & rubber polymerization.
- World wide Technology licensing.
- Plant construction.
- Materials Manager.
- Application software design and implementation for refineries and chemical plants.
- Designed and implemented application software for reservoir economics in Exploration and Production.

\*Retired from FINA out of Dallas to Salado in 1998.

\*Wife is Carol and we have three sons with families, two in the Dallas area and one in the Minneapolis area.

\* Served on the startup team, comprehensive planning, and elected to the Board of Alderman of Salado for two terms 2005 to 2009.