



**REGULAR MEETING OF THE
SALADO BOARD OF ALDERMEN**

**REGULAR AGENDA
AND WORKSHOP AGENDA**

**THURSDAY, APRIL 9, 2015 6:30 P.M.
MUNICIPAL BUILDING
301 NORTH STAGECOACH, SALADO TX
BOARD OF ALDERMAN CHAMBERS**

I. CALL TO ORDER

1. Invocation / Moment of Silence
2. Pledge of Allegiance, Texas Pledge of Allegiance

("Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.")

II. REPORTS

Announcements concerning items of community interest. No action will be taken or discussed.

Village Administrator Operational Report

Aldermen Updates:

- Environmental Report – Alderman Dankert and Alderman McDougal
- ETJ / Annexation Report – Alderman Dankert and Alderman McDougal
- Ordinance Committee Report – Alderman Fields and Alderman Coachman
- Main Street Report – Mayor Pro Tem Brown
- Street Improvement Report – Alderman McDougal
- Stagecoach / Wastewater Status Report – Alderman Dankert, Alderman Fields, Alderman McDougal, and Village Administrator Foutz

Monthly Reports (given at the first meeting each month):

- Police Department Report – Police Chief Jack Hensley
- Fire Department Report – Fire Chief Shane Berrier
- Chamber of Commerce and Tourism Bureau Report – Director Debbie Charbonneau

III. PROCLAMATIONS – n/a

IV. PUBLIC COMMENTS

3. Citizens who desire to address the Board of Alderman on any matter may sign up to do so prior to this meeting. Public comments on issues not listed on the agenda will be received during this portion of the meeting. Comments related to items on the agenda will be received during consideration of the individual agenda item. Please limit comments to 3 minutes. No discussion or final action will be taken by the Board of Alderman.

V. CONSENT AGENDA

All items listed under this section, Consent Agenda, are considered to be routine by the Board of Alderman and may be enacted by one motion. If discussion is desired by the Council, any item may be removed from the Consent Agenda at the request of any Alderman and will be considered separately.

4. Consider approving the Consent Agenda items:
 - (A) Minutes, Regular Meeting, March 19, 2015

VI. REGULAR AGENDA

5. Presentation, discussion, and possible action on a variance to Ordinance 2013.08, Section 4.1G1(a) for the location of an accessory building located at 400 Hay Meadow Drive
6. Presentation, discussion, and possible action on reimbursement to volunteers for gas and maintenance for mowing of public areas in the amount of \$500.00

Public Hearings / Ordinances – none.

In accordance with the Rules of Procedure for Board of Aldermen Meetings, comments during Public Hearings should be addressed to the Board as a whole. In addition, comments should not be addressed to citizens or applicants attending the Meeting.

Miscellaneous – none.

VII. WORKSHOP SESSION

Attendees please note that Workshop Sessions are open to the public as mandated by the Open Meetings Act, but are not participatory. The Board will discuss Agenda items but will not accept public comments or questions. Please make any comments to the Board during the Public Comments portion of the Regular Agenda.

Workshop Agenda:

7. Discuss proposed Bell County Municipal Utility District #3, a proposed 1221.63 acre development along F.M. 2843
8. Discuss the Stagecoach wastewater treatment plant regarding:
 - Establishing a budget
 - Establishing user rates
 - Obtaining operator services
 - Effluent field, related contractual expenditures, and discharge alternatives
9. Discuss terms and conditions for voluntary annexation by the Salado Independent School District and other annexation initiatives

VIII. EXECUTIVE SESSION

10. Discuss personnel matters as authorized by Texas Government Code §551.074, Personnel Matters – Village Secretary's request for administrative leave and other related matters including unpaid leave, administrative leave with pay, authorized leave without pay, leave of absence, and paid leave during the first six months of employment.
11. Discuss the Sanctuary project as authorized by Texas Government Code § 551.087, Economic Development

IX. REGULAR SESSION / ACTION ON EXECUTIVE SESSION ITEMS

12. Consider action on a personnel matter as it relates to the Village Secretary's request for administrative leave and other related matters including unpaid leave, administrative leave with pay, authorized leave without pay, leave of absence, and paid leave during the first six months of employment.

The Village of Salado reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices) and 551.087 (Economic Development).

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the Village Secretary's office at (254) 947-5060 for further assistance.

I hereby certify that a true and correct copy of this Notice of Meeting was posted in a public place at
5:25 p.m. on Monday, April 6, 2015



Acting Village Secretary

Removed from display: _____

Village of Salado, TX
Regularly Scheduled Board of Aldermen
Meeting Minutes
Municipal Building, 301 N. Stagecoach Rd.
Thursday, March 19, 2015 6:30 p.m.

Members present: Mayor Skip Blancett, Mayor Pro Tem Fred Brown, Alderman Frank Coachman, Alderman Hans Fields, Alderman Michael McDougal

Members Absent: Alderman Amber Preston Dankert

Others Present: Douglas Hansen – Village Secretary, Jack Hensley - Chief of Police, Debbie Charbonneau – Executive Director

I. Call To Order : Mayor Blancett called the meeting to order at 6:30 p.m., quorum present.

1. Mayor Blancett led the invocation.
2. Pledge of Allegiance and Texas Pledge were recited.

II. Reports:

Mayor's Report: The Mayor read an email from Robert Sulaski regarding ongoing design efforts for the Sanctuary project.

Aldermen Updates:

Environmental Report/ETJ - No report

Ordinance Committee Report - No report

Main Street Report Mayor Pro Tem Brown said that the Texas A&M design team will be at the Salado Municipal Building Noon to 1:00 p.m. on Friday March 27th and urged residents and business owners to come to the meeting to give input to the future look of Main Street.

Street Improvement Committee Alderman McDougal said that Bell County has started their spot repair work two and a half month early. They have done work at the corner of Main & Royal and are continuing work on Baines. The major work that the Village accepted bids for on Salado Plaza, Mill Creek, and Thomas Arnold will begin mid-April and should be complete by the 1st week in June.

Stagecoach / Wastewater Report – No report.

The Mayor thanked the Aldermen for their reports.

III. Proclamations: none

IV. Public Comments:

3. No public comments were made.

V. Consent Agenda

4. Consider approving the Consent Agenda items:

(A) Minutes, Regular Meeting March 5, 2015

Alderman McDougal made a motion to approve the Consent Agenda as presented, Alderman Coachman seconded, and the motion passed unanimously (4-0).

VI. Regular Agenda:

Resolutions – none.

Public Hearings / Ordinances – none.

Miscellaneous – none.

Mayor Blancett closed the Regular Session at 6:47 p.m. and opened the Workshop Session.

VII. Workshop Session:

5. Discuss a proposed Dog Park for Salado

Mayor Blancett asked John Jennings to speak

10. Discuss the US Fish and Wildlife presentation regarding the Salado Springs Salamander and the Stagecoach Plant

Tim Brown noted that what ordinance the Village passes is the Village's decision, and that an ordinance need not be more restrictive than necessary. Kim Foutz brought up the Stagecoach plant that is permitted to discharge into the creek but does not currently discharge there, and asked about jurisdiction and processes to determine what is allowable. Chris Harper said the key factors to examine are what exactly the permit says and conducting testing. Alderman Dankert noted that the spring near the Stagecoach plant is alluvial and therefore pushes water out and brought up the possibility of discharging into the pond first. Kim Foutz said that she had already started consulting with TCEQ and would be contacting Clearwater as well. Mayor Blancett called the board's attention to the fact the Village had to take action by June.

11. Discuss a proposed Outdoor Events Ordinance.

12. Discuss amending the Parks Ordinance to allow alcohol with special events.

Doug Hansen noted that these two items were follow-ups from a previous Workshop. He gave handouts summarizing answers to questions posed at the previous Workshop. He said that he would defer the presentation in the interest of time if the Aldermen wished.

13. Discuss Salado construction issues – Interstate 35 construction and Main Street Improvements

The Mayor said that he has another meeting with TXDOT at the end of March, pushing to try to get I-35 construction done by the end of December and asking for compensation for the construction delays, possibly in the form of gutter and curb work. Alderman Fields noted that he asked Andy Petter for a copy of the bridge inspection report, and the report shows that the Main Street Bridge is rated as a 72.6 out of 100.

The Mayor directed that the building be cleared and the Executive Session open at 9:43 p.m.

VIII. Executive Session:

The Board addressed two Agenda items in Executive Session.

14. Discuss the Sanctuary project as authorized by Texas Government Code 551.087, Economic Development.

15. Discuss the Robertson Tract project as authorized by Texas Government Code 551.087, Economic Development.

IX. Regular Session

The Mayor re-opened the Regular Meeting at 10:53 p.m.

Announcements:

Next Scheduled Board of Aldermen Meeting will be at the Municipal Building on Thursday, March 19th, 2015 at 6:30 p.m.

The Mayor asked the Board to meet in Workshop and Executive Session on Monday, Mar 9 at 6:00 p.m. and again on Thursday, March 12 at 6:00 p.m. if there was still business to discuss after the Mar 9 meeting was concluded.

There being no further business, the meeting was adjourned at 10:57 p.m.

APPROVED: _____
SKIP BLANCETT, Mayor of the Village of Salado, Texas

ATTEST: _____
DOUGLAS A. HANSEN, Village Secretary



BOARD OF ALDERMEN/ZONING BOARD OF ADJUSTMENT AGENDA ITEM

04/09/2015
Item # 5
Page 1 of 4

APPLICANT: Curt Doucet

CASE MANAGER: Kim Foutz, Village Administrator

ITEM DESCRIPTION: Presentation, discussion, and possible action on a variance to Ordinance 2013.08, Section 4.1G1(a) for the location of an accessory building located at 400 Hay Meadow Drive

UPDATE: On February 19, 2015 the applicant appeared before the BOA for a variance at 400 Hay Meadow. The applicants were given a conditional 45 day variance for the requested accessory building in order to seek approval of the proposed accessory building, construction plans, and remodel plans from the Home Owners Association Architectural Review Committee.

The applicants received approval of their construction plans from Sam L Pfiester (the only remaining active member of the before mentioned committee) on March 25, 2015. Please see the attachment.

BACKGROUND: This variance request is for an accessory building to be located outside of the rear yard. The accessory building in question is already erected on the property and is located in the front yard. The request proposes to allow the portable building to stay in its present location as a non-conforming accessory building. The applicant proposes to expand the existing main residence, build a garage, and to modify the accessory building so that the siding, rock/stone work, metal roofing, and landscaping match the materials used on both the main residence and the garage.

The applicant submitted a building permit application on 02/12/2015 to start renovations on the main residence. Once the building permit application is approved, the applicant will begin construction which is anticipated to last for twelve (12) months. Should a variance be granted, the applicant understands it would be conditional upon completion of improvements, as approved by the Architectural Review Committee, within 12 months at which time, the variance would be permanent. Should improvements not take place within the required time frame, the variance would be revoked and the accessory building would once again be in violation of said ordinance and would be required to be removed.

If this variance is not granted or at any time becomes revoked, the accessory building must be either relocated to conform to Ordinance 2013.08, Section 4.1G1(a) or be removed from the property.

Accessory Buildings: (language taken directly from Ordinance)

Section 4.1

G. Accessory Buildings and Use Regulations:

1. **Accessory Buildings:** An accessory building that is less than one hundred and fifty (150) square feet in size shall be required to have a building permit to comply with placement regarding setbacks, adjacent buildings, and zoning. An accessory building that is one hundred and fifty (150) square feet or greater in size shall be required to have a building permit.

a. **Residential Districts** - In a single-family or multiple-family district, an accessory building is a subordinate or incidental building, attached to or detached from the main building, not used for commercial purposes and not rented. Accessory buildings shall be located toward the rear portion of the property.

The Board may authorize, in specific cases, a variance from the terms of the Ordinance if the variance is not contrary to the public interest and, due to special conditions; a literal enforcement of the Ordinance would result in unnecessary hardship, and so that the spirit of the Ordinance is observed and substantial justice is done.

According to the Ordinance, the Board shall take into account the nature of the proposed use of the land involved, existing uses of land in the vicinity, the number of persons who will reside or work within the proposed use, and the probable effect such variance will have upon traffic conditions and upon the public health, safety, convenience and welfare of the community.

In order for the Board to be in favor of this request, the Board must make affirmative findings of the specific conditions of the request in relation to all of the following four (4) items:

Conditions to be Met for Approval Section 2.3G1&2	Staff Analysis
1. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this Ordinance would deprive the applicant of the reasonable use of the land; and	The special circumstance is the existing position of the main residence does not allow for the accessory building to be positioned in the rear yard due to lack of area behind the residence and out of the floodplain. The location of the main residence is in the same location as when the current property owner purchased it.

Conditions to be Met for Approval Section 2.3G1&2	Staff Analysis
<p>2. That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant; and</p>	<p>The variance is requested to allow the property owner to house the materials needed to renovate the main, build a garage, and renovate the accessory building to be later used as a storage building. The BOA should determine whether it believes there is a substantial property right for this use and location.</p>
<p>3. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other property within the area; and</p>	<p>The variance for the accessory building will not affect the public health, safety or welfare. It is up to the BOA to determine whether this structure is injurious to adjacent property.</p>
<p>4. That the granting of the variance will not have the effect of preventing the orderly use of other land within the area in accordance with the provisions of this Ordinance.</p>	<p>The variance will not have the effect of preventing the orderly use of other land within the area.</p>

Additionally, the Board must make written findings that an undue hardship exists, using the following four (4) criteria:

Conditions to be Met for Finding of Undue Hardship Section 2.3G3	Staff Analysis
<p>1. That literal enforcement of the controls will create an unnecessary hardship or practical difficulty in the development of the affected property; and</p>	<p>The literal enforcement of the Ordinance does not allow for practical movement of the accessory building to the current rear yard.</p>
<p>2. That the situation causing the hardship or difficulty is neither self-imposed nor generally affecting all or most properties in the same zoning district; and</p>	<p>Previous owners created the situation where there is no room for accessory buildings in the rear yard. Moving the new, additional portable building in without a permit could have been avoided.</p>

3. That the relief sought will not injure the permitted use of adjacent conforming property; and	The relief sought will not injure the permitted use of adjacent conforming property. Adjacent owners may still utilize and/or zone their property for single family residential purposes. It is up to the BOA to determine if marketability of the adjacent properties is affected.
4. That the granting of a variance will be in harmony with the spirit and purpose of these regulations.	As determined by the BOA.

STAFF RECOMMENDATION: If approved, staff recommends that the BOA provide a conditional approval of the variance. The recommended conditions are as follows:

- Completion of all proposed renovations/additions/landscaping of the primary residence, garage, and accessory building in accordance with the HOA approved plans within 12 months. Should work not be completed within the specified timeframe, the applicant would be required to come back to the BOA for an extension or be required to remove the accessory building.

Staff mailed 9 notices to property owners within 200 feet of the variance site. As of 12:00 pm on February 13, 2015, no responses were received. The newspaper printed notice of the public hearing on January 29, 2015, in accordance with state law and local ordinance. This item was originally considered on February 15 and tabled for 45 days for reconsideration.

ATTACHMENTS:

- Location Map
- Previous Conditions
- Photo of New Conditions
- Site Plan
- Variance Application
- Letter from Property Owner
- Drawing w/Notes from Property Owner
- 200' Notice List w/Map
- Diagram showing current front, side, and rear yards and showing future front, side, and rear yards after expansion of the primary residence

- NEW ATTACHMENT – Plans the applicant submitted to the Architectural Review Committee and signed approval.

Doucet Residence

400 Hay Meadows

Salado, Texas



SAM L. PRIESLER

SALADO CREEK PLACE
ARCHITECTURAL REVIEW COMMITTEE

SITE AND CONSTRUCTION PLANS APPROVED
by ARCHITECTURAL COMMITTEE AS SUBMITTED.

MARCH 25, 2018



Materials

Roof

The roof will consist of Standing Seam R Panel Hidden Fastener Metal on all pitched surfaces. The roof will match the existing structure.

Exterior

Stone: The side and rear of the addition, garage and storage building will consist of Austin Stone with Nicotine Color to match the base of the existing structure. The breezeway, front steps, flower beds, fence post, mailbox and deck corners will be the same stone with red brick cap and finish.

Siding: The front and eave points will consist of Cape Cod Hardi-shingle Siding with Straight Edge Finish. The railings and decking will consist of decorative wood finish.

Colors: The non-stone portion of the home will be "Buckskin Beige" with "New Holland Beige" and "Navajo White" accents.

Foundation: The 2 story addition, garage and storage building will be on a concrete foundation. The existing structure will remain pier and beam over a 15" slab.

Driveway

The driveway will consist of paved concrete with a stained finish including sidewalks and curbing to match.

Doucet Residence
400 Hay Meadow
Salado, Texas

DATE: Mar 13, 2015

SCALE: 1/4"=1'-0"

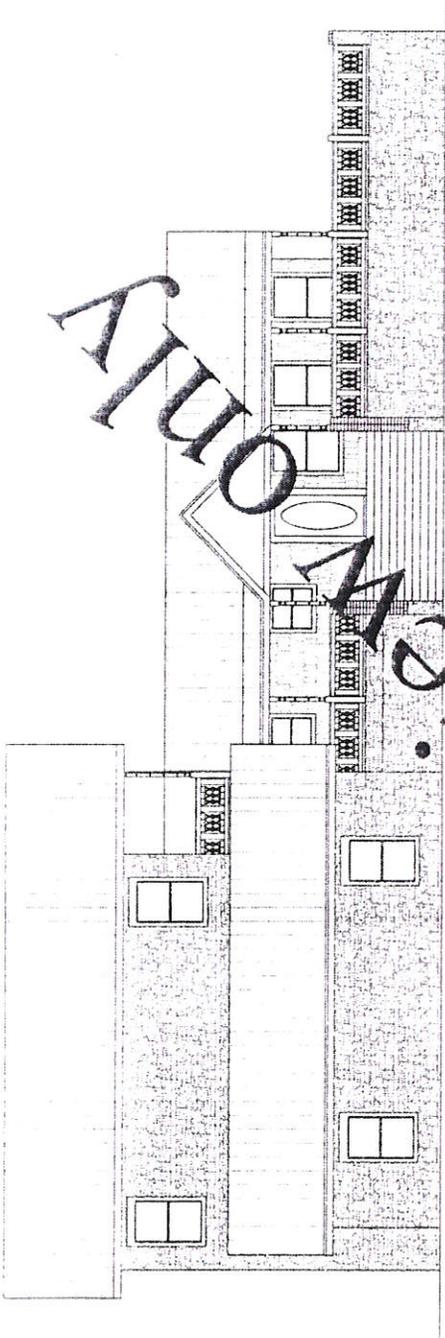
DESIGNER: Curt and Lanni Doucet

PROJECT: 0311120001

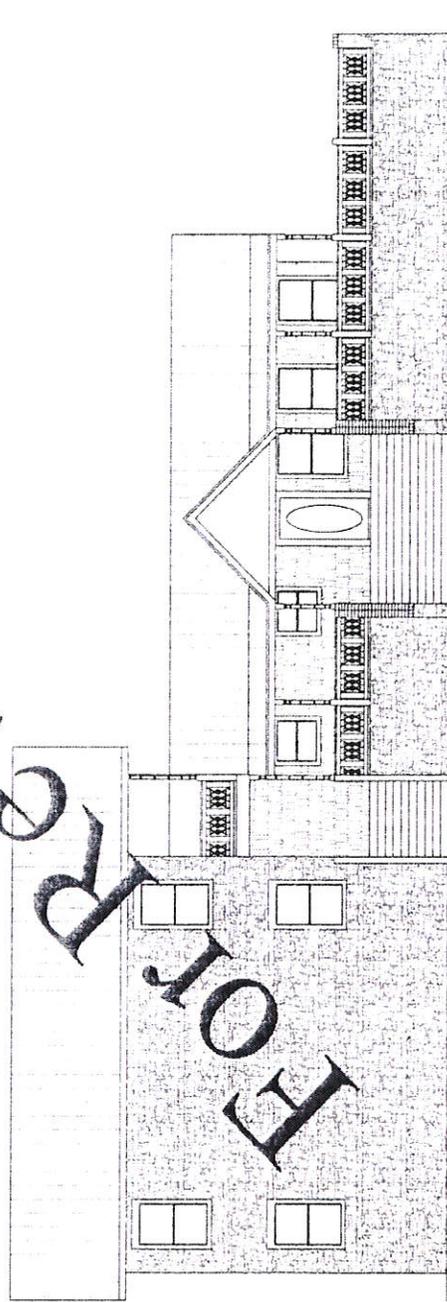
DATE: 1/14/15

PROJECT: 0311120001

A1



Front View With Garage

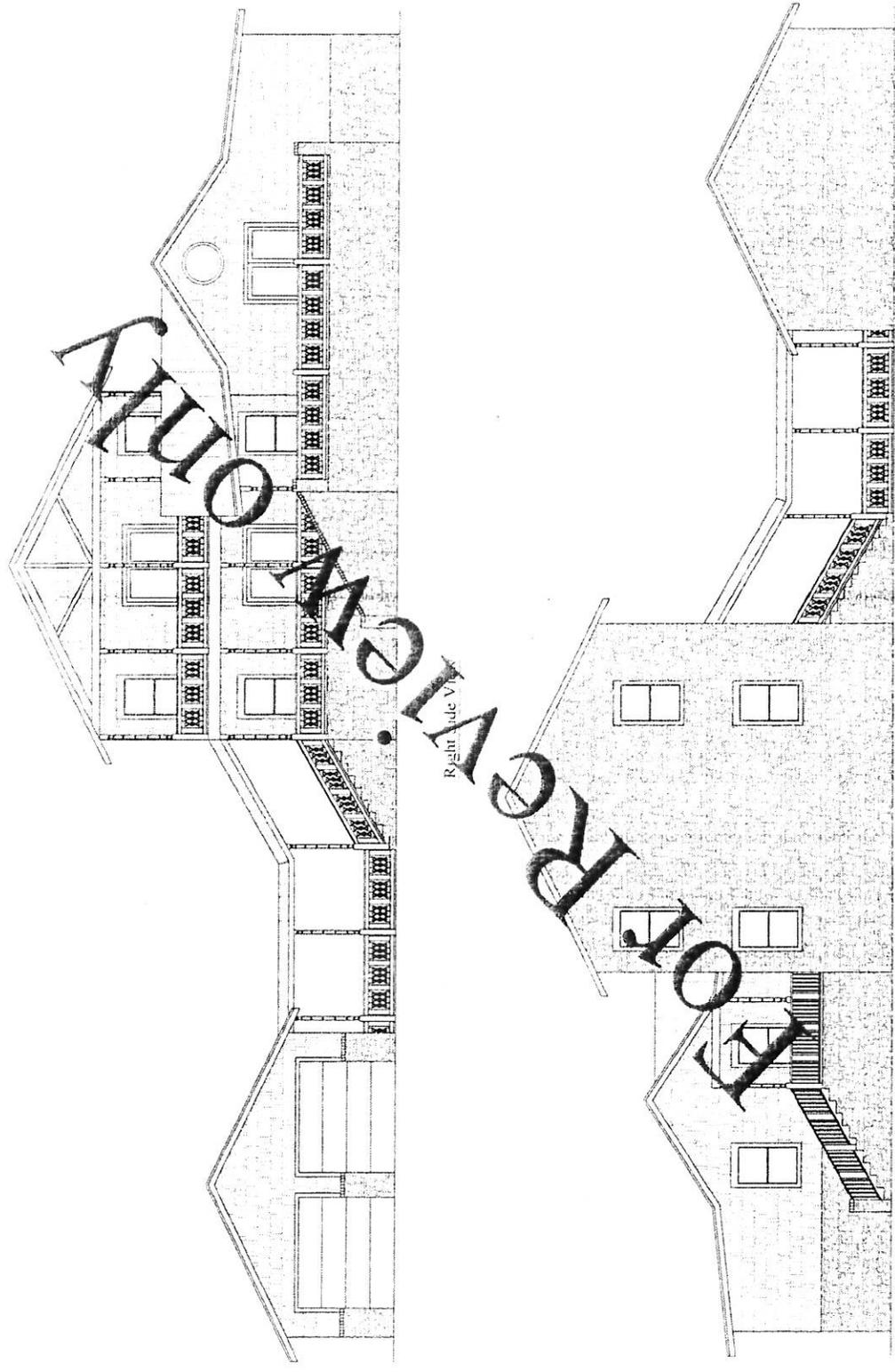


Front View Without Garage

Doucet Residence
400 Hays Meadow
Salado, Texas

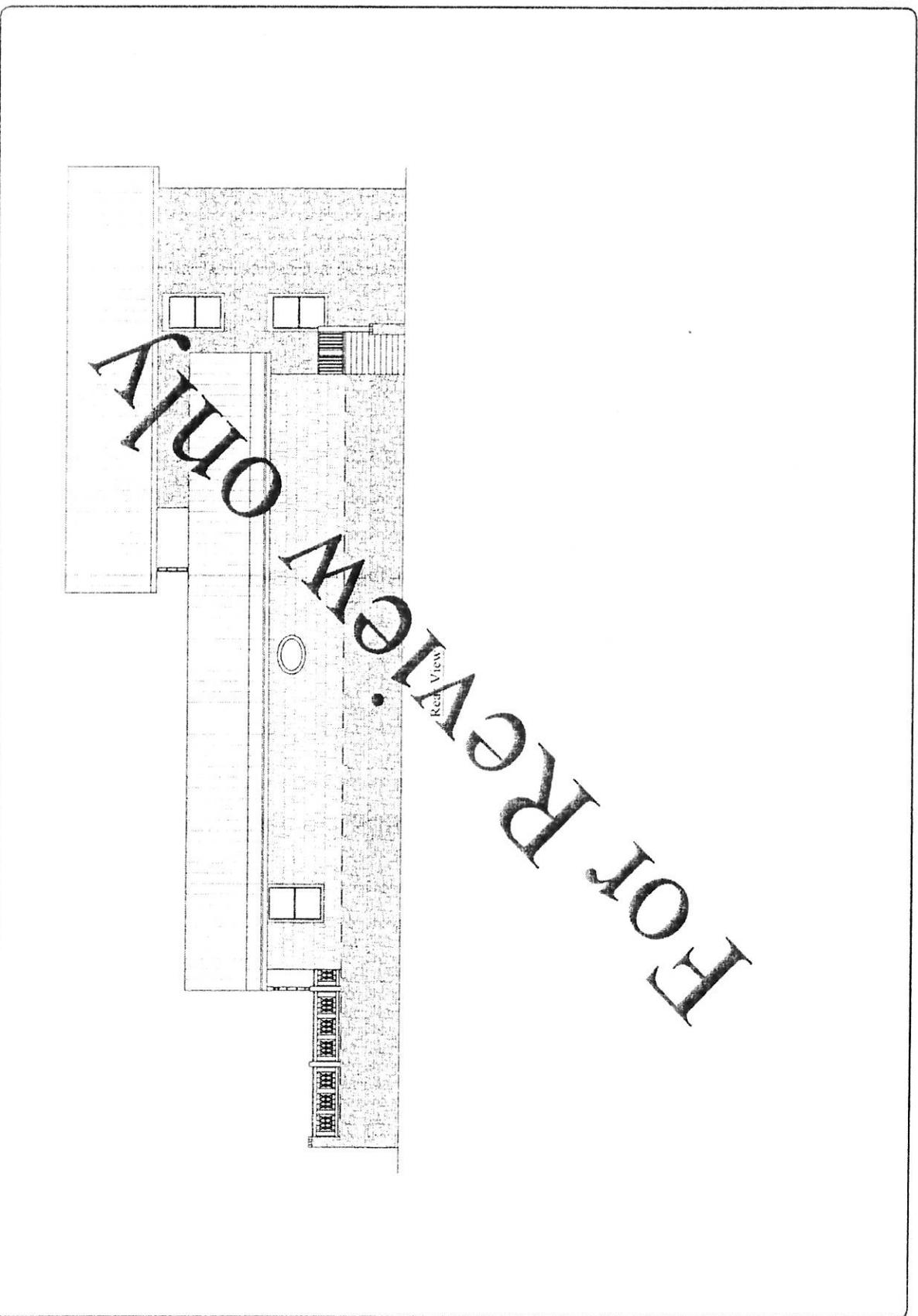
DATE	Mar 13 2015
SCALE	1/4" = 1'-0"
DESIGNER	Curt and Laurie Doucet
PROJECT	1000 Hays Meadow
NO.	
DATE	
NO.	

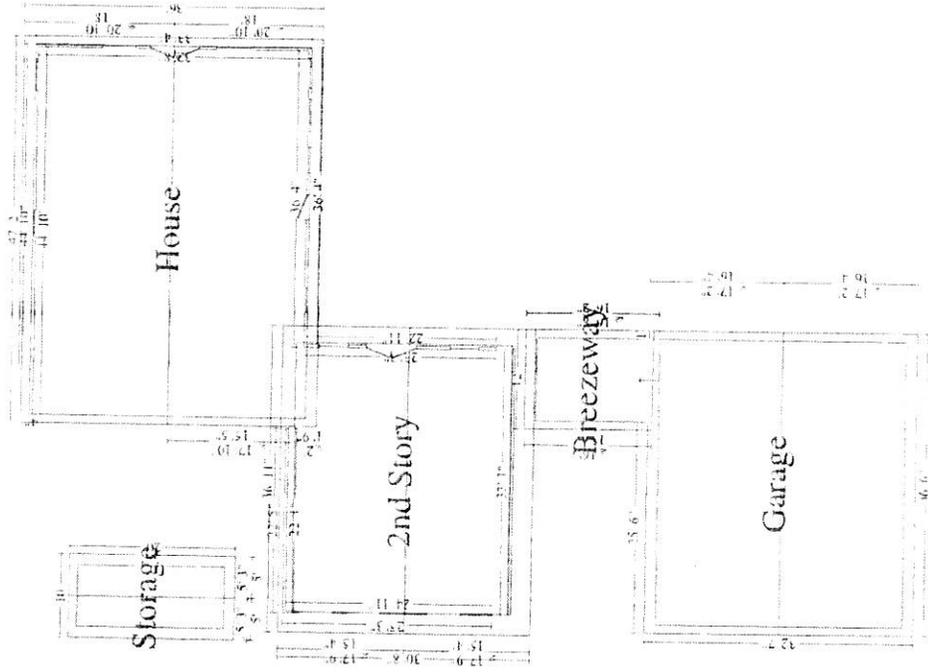
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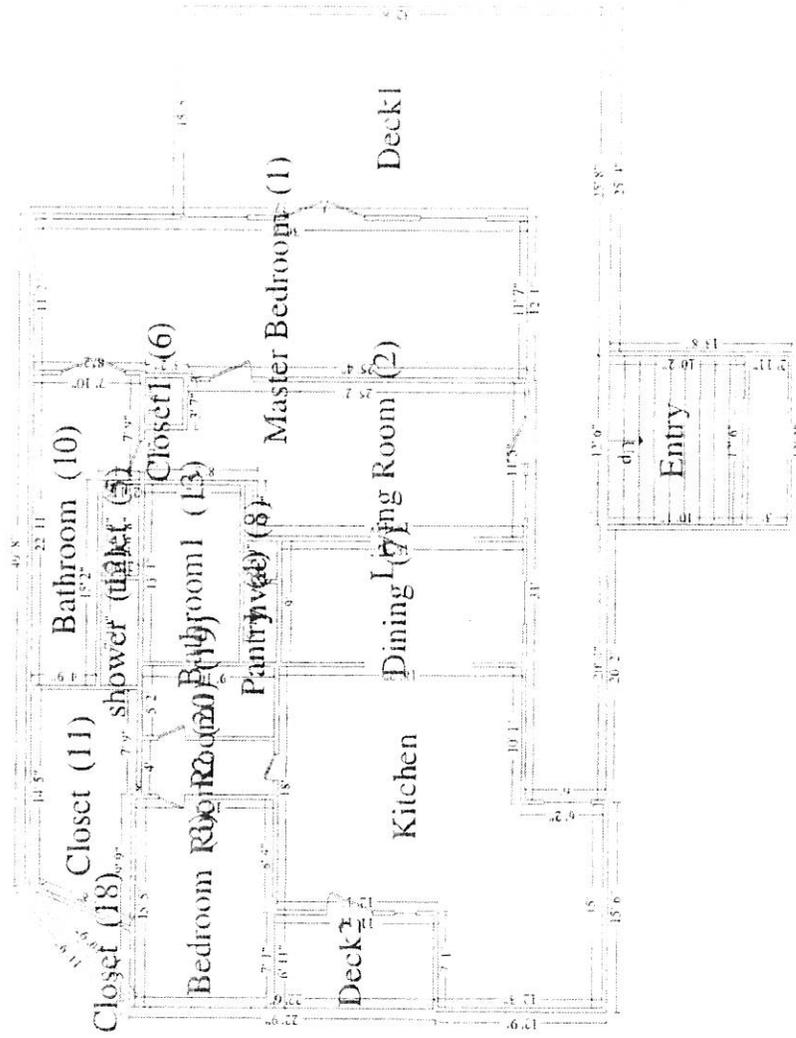


Right Side View

Left Side View



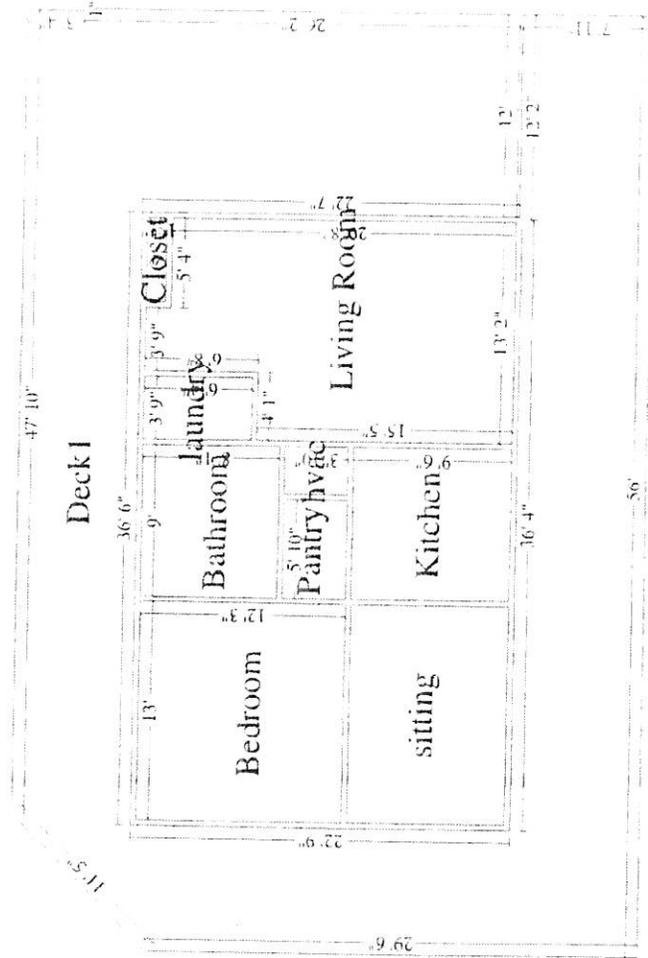


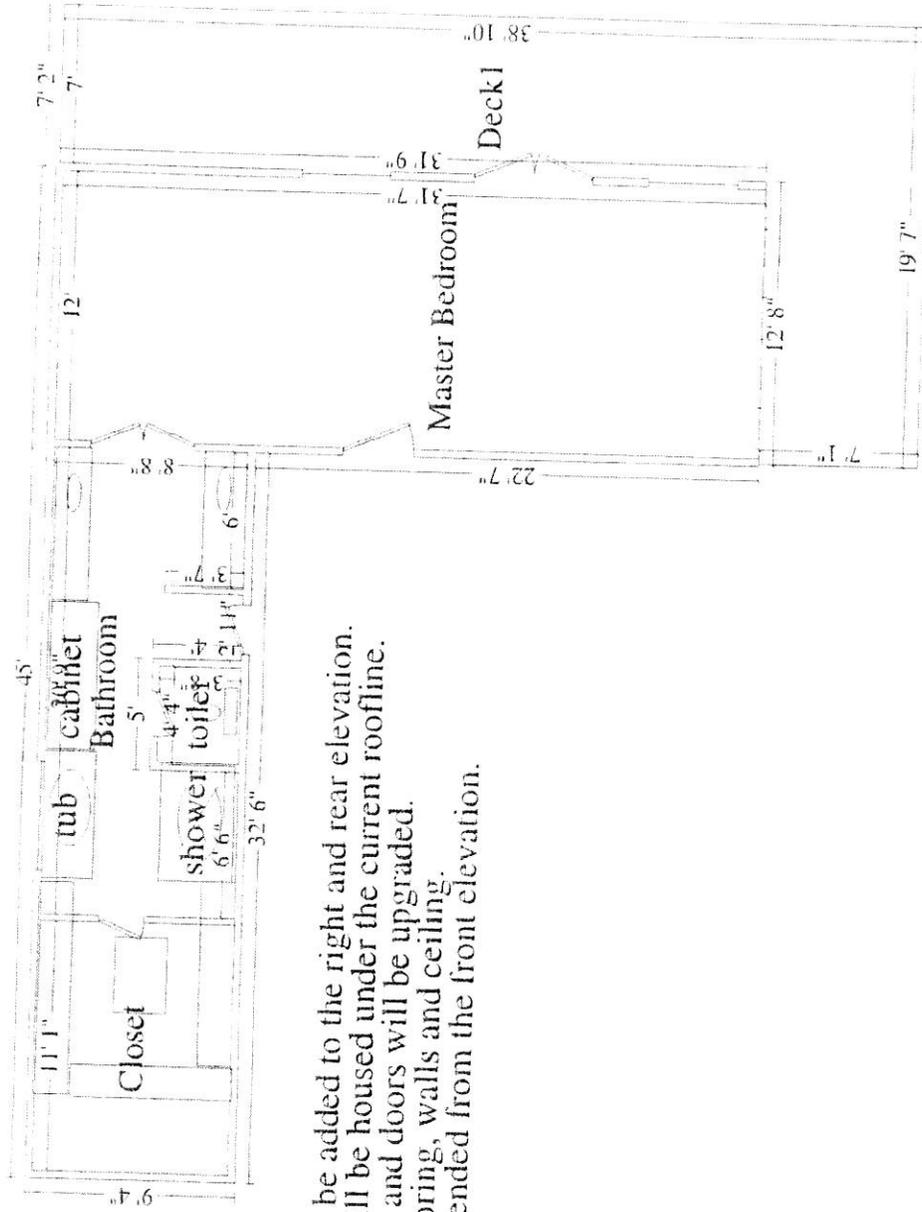


Completed Renovation
 Under Current Roof
 2400 sq ft total under same roofline
 Deck Only Extension

All Windows and Doors Upgraded to High E Rating
 New Insulation to Walls, Flooring and Ceilings
 Electrical Upgraded
 Plumbing and Septic Upgraded with New System
 New A/C unit, New Heat unit
 Upgraded Tankless Water Heater

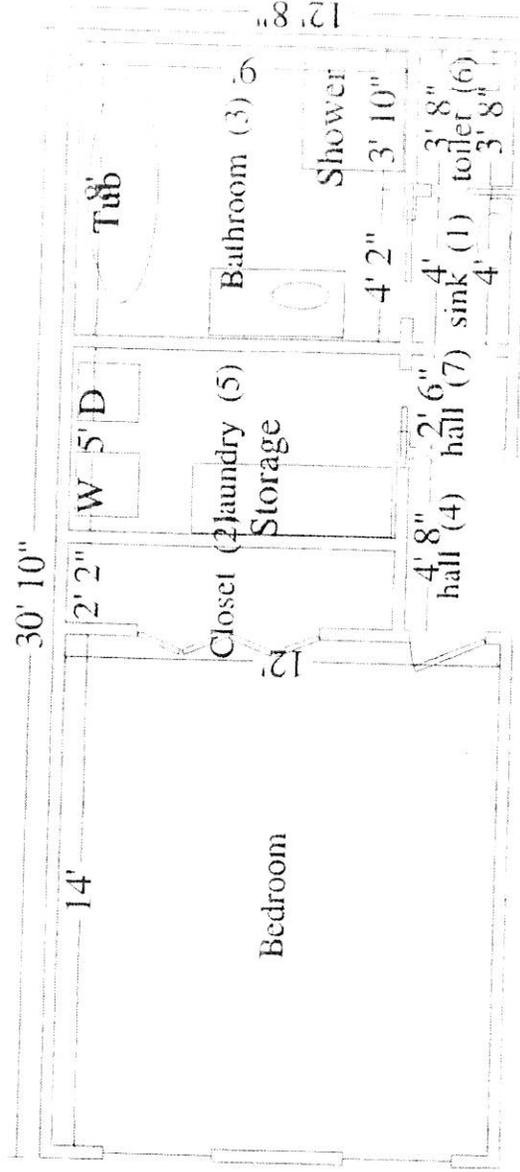
Current Home Layout
Roofline extends to Deck
Deck Surrounds Entire Home
Remodel to Current Layout
Reconstruction under Current Roofline
Deck on Right, Rear, Left Elevation will be Included
Deck on Front Elevation will be partially Included

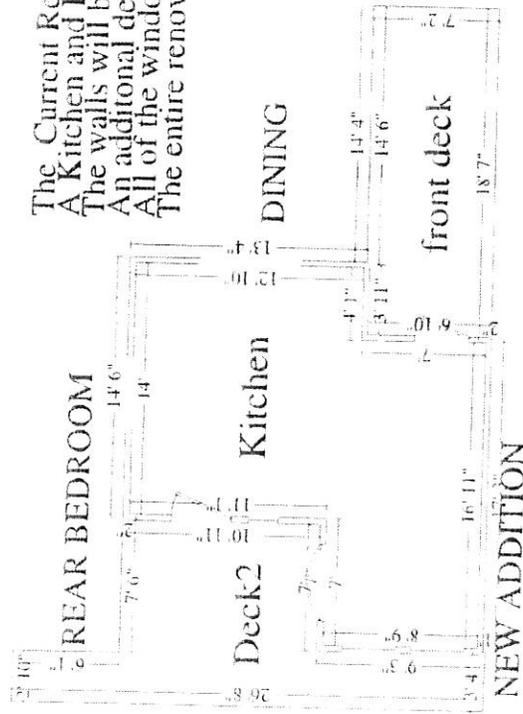




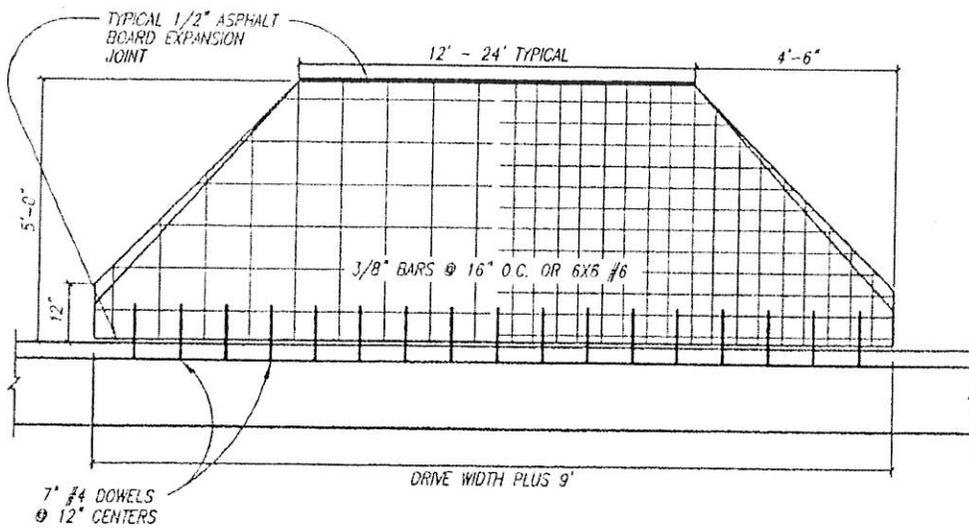
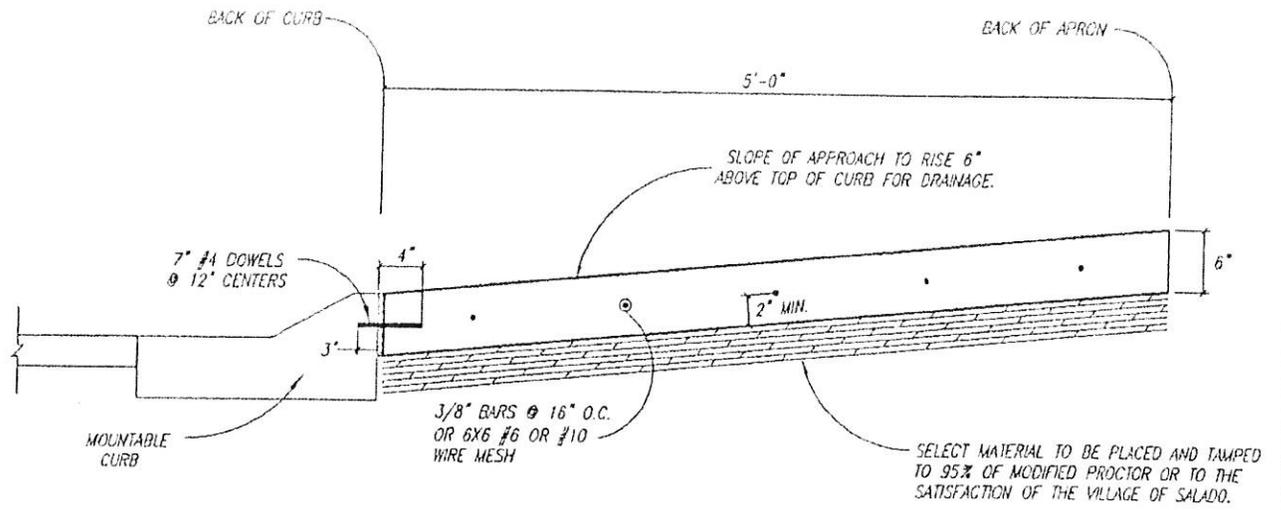
The Master Suite will be added to the right and rear elevation.
The entire addition will be housed under the current roofline.
New siding, windows and doors will be upgraded.
New Insulation to flooring, walls and ceiling.
New Deck will be extended from the front elevation.

The following additions will be made to the Bedroom/Bathroom area on the Left Rear elevation.
All of the remodel and additions will be under the current roofline.
The Current Bedroom will be extended under the current roofline.
The Current Bathroom will be remodeled.
A Laundry Room and Storage area will be added in same area.
The Windows, Doors and plumbing will be upgraded.



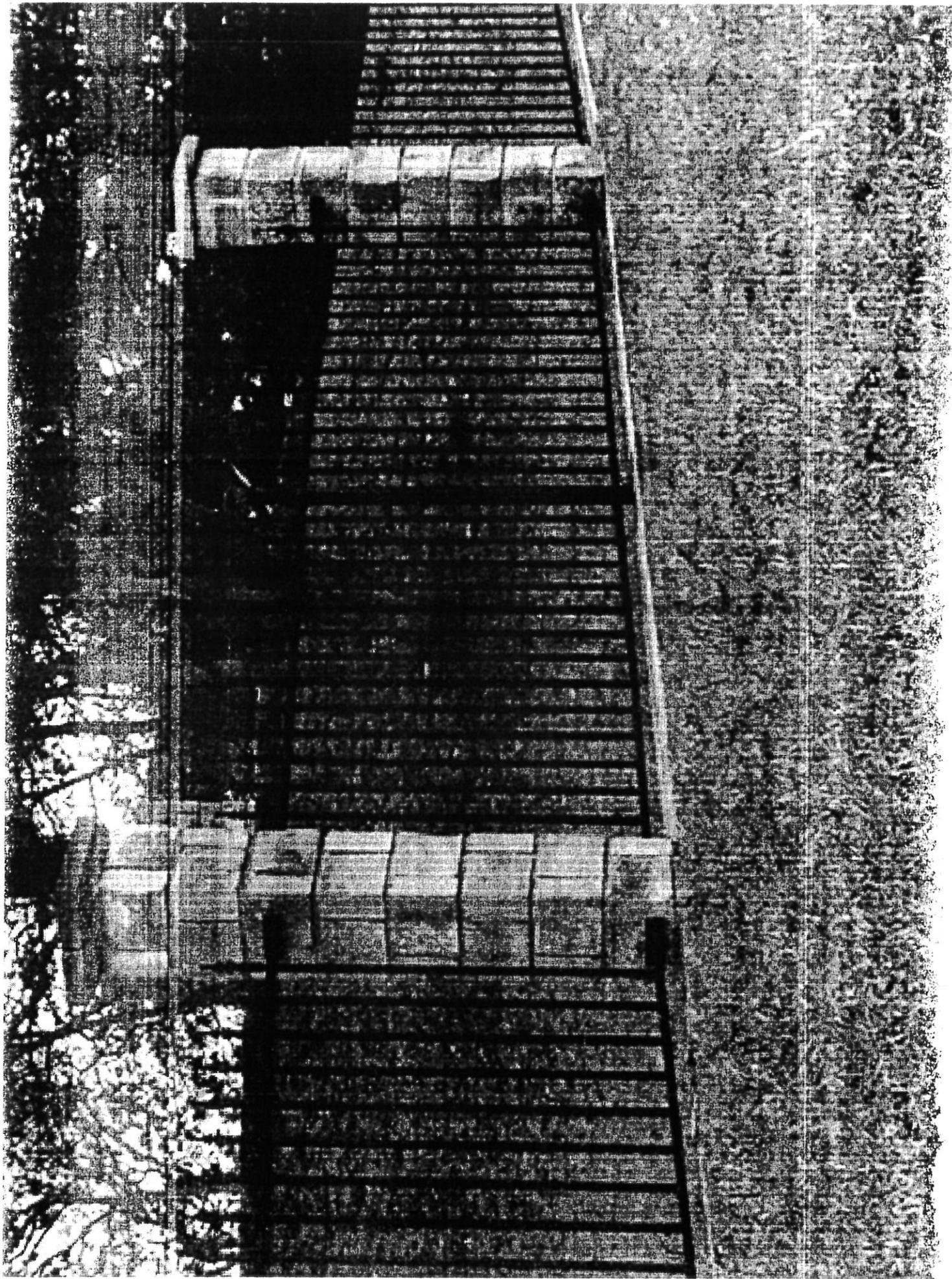


The Current Renovations will be made to the Front Left Elevation.
A Kitchen and Breakfast area will be added under the current roofline.
The walls will be extended on the front and left deck.
An additional deck with stairs will be added to the left, extending the current.
All of the windows, doors and plumbing will be upgraded.
The entire renovation will be under the current roofline.



**TYPICAL DRIVEWAY W/WINGS REINFORCEMENT PLAN
SINGLE & TWO FAMILY RESIDENTIAL WITH MOUNTABLE CURB**

NOT TO SCALE



SITE ADDRESS: 400 HAYMEADOW SALADO, TEXAS

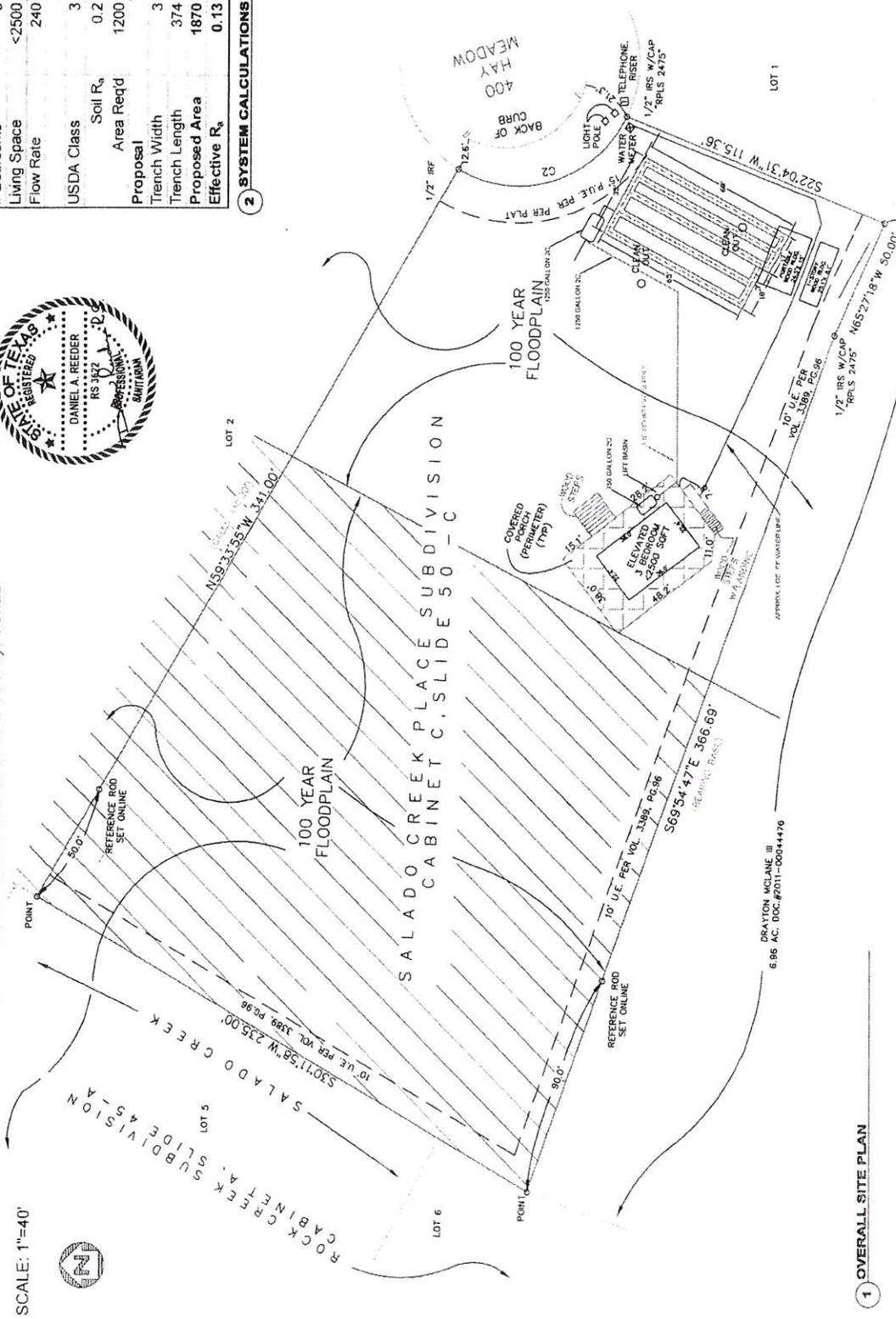
Site Information: 1.775 Acres Lot 2 Salado Creek Place Subdivision Bell County, Texas

SCALE: 1"=40'



Standard Absorption Trench Area Sizing	
# Bedrooms	3
Living Space	<2500 SqFt
Flow Rate	240 Gall/Day
USDA Class	3
Soil R _a	0.2 max gal/sqft/day
Area Req'd	1200 SQFT
Proposal	
Trench Width	3 feet
Trench Length	374 feet
Proposed Area	1870 SQFT
Effective R _a	0.13 gal/sqft/day

2 SYSTEM CALCULATIONS



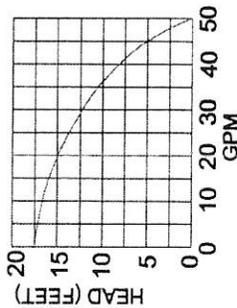
1 OVERALL SITE PLAN

SITE ADDRESS: 400 HAYMEADOW SALADO, TEXAS

Site Information: 1.775 Acres Lot 2 Salado Creek Place Subdivision Bell County, Texas

SCALE: NTS

LIBERTY
Performance Curve: 270 Series
1/3 HP EFFLUENT PUMP



PUMP DEMAND CALCULATIONS:

APPROX 13GPM
ELEVATION HEAD 9' LOSS
FRICTION LOSS: -120' @ 1.5" SCH 40 1.4' LOSS
FITTING LOSS: .35' LOSS
LOSS THROUGH SPRING CHECK 4'
TOTAL LOSS 4.75' @ 13GPM

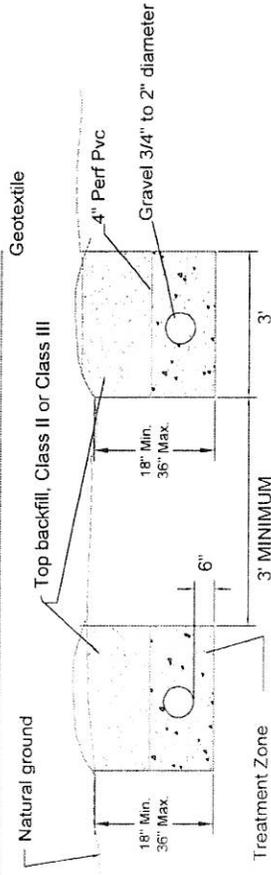
SET PUMP FLOATS TO DEMAND DOSE 30 GAL PER DOSE SHOULD DOSE 10X DAILY
USE RECIRCULATION VALVE TO SET FLOW TO APPROX 13 GPM

3 PUMP CURVE



- NOTES:**
- THE HOME THAT HAS BEEN MOVED ONTO THE PROPERTY IN LIEU OF THE STUDIO IS A 3 BEDROOM HOME WITH 806.4 SQFT HOWEVER THE OWNER WANTS TO INCREASE THE SOFT LIVING TO JUST UNDER 2500 SQFT WITH AN EXACT NUMBER TO BE DETERMINED.
 - A 750 GALLON SEPTIC TANK WAS INSTALLED AFTER THE INITIAL INSPECTION AND WAS INSTALLED UNDER THE DECK AREA. IT CAN BE ACCESSED FROM UNDER THE HOME WITH AN ADDITIONAL ACCESS PLANNED VIA A CUT OUT IN THE DECK THAT IT SITS BELOW.
 - THERE ARE TWO PORTABLE BUILDINGS THAT SIT ON THE PROPERTY. ONE OF WHICH APPEARS TO BE POSSIBLY OVER PART OF THE DRAINFIELD AREA. THE ONE OVER THE DRAINFIELD AREA WILL NEED TO BE REMOVED AS SOON AS WORK ON THE HOME IS COMPLETED.
 - ACCORDING TO THE CURRENT SURVEY PROVIDED, BOTH OF THE TANKS ON THE PROPERTY ARE IN AN ADJUSTED FLOOD PLAIN AREA.
 - THE 1250 GALLON TANK THAT WAS INSTALLED FOR THE INITIAL INSPECTION WILL HAVE A CONSTANT VOLUME COMBINED WITH THE WEIGHT OF THE TANK AND THE BACKFILL THAT WILL PRECLUDE IT FROM FLOATING.
 - THE 750 GALLON 2 COMP TANK THAT WAS INSTALLED AFTER THE INITIAL INSPECTION WILL ALSO HAVE A CONSTANT VOLUME HOWEVER IT IS SETTING ON TOP OF NATIVE GRADE AND WILL REQUIRE STRAPPING OR OTHER ACCEPTABLE METHOD OF ANTI-FLOATATION WILL BE REQUIRED.
 - THE PROPOSED PUMP BASIN WILL HAVE A VARYING WATER LEVEL AND WILL NEED TO BE AFFIXED TO EITHER THE TANK THAT IT IS SITTING BESIDE OR ANOTHER FIXED OBJECT IN THE NEAR VICINITY THAT WILL NOT MOVE IN THE EVENT OF A FLOOD LEVEL.
 - A CHECK VALVE WILL BE REQUIRED ON THE OUTLET OF THE LIFT PUMP SUPPLY LINE. THE TANK THAT IS INSTALLED UNDER THE DECK MAY BE VENTED OUT ONE OF THE LIDS TO A LOCATION OUTSIDE OF THE HOME BUT WILL REQUIRE A CAP OVER THE VENT PIPING TO INSURE THAT NO RAIN WATER IS ALLOWED TO ENTER THE SYSTEM TANKAGE.
 - SITE IS LOCATED IN THE FLOOD PLAIN WITH THE BOUNDS MARKED ON THE SITE PLAN.
 - ALL OSSF SYSTEM COMPONENTS MUST BE 10' FROM ANY WATER LINE PUBLIC OR PRIVATE.
 - NO WELLS WITHIN 100' OF ANY SYSTEM COMPONENT.
 - PIPING FROM THE HOUSE TO THE TANK TO CONTAIN A 2WAY CLEANOUT AND LINE MUST HAVE POSITIVE GRADE AT OR EXCEEDING 1/8" PER FOOT TO THE TANK.
 - THE TANK MUST BE SET LEVEL TO WITHIN 1" SET ATOP 4" OF SAND, SAND LOAM, CLAY LOAM, OR PEA GRAVEL FREE OF ROCK LARGER THAN PEA GRAVEL.
 - TANK DEPTH MUST NOT EXCEED 12" UNLESS A RISER IS INSTALLED ON EACH CLEANOUT AND EXTENDS TO WITHIN 6" OF THE GROUND SURFACE.
 - NO SPECIFIED HEAD PRESSURE WHERE EFFLUENT IS SUPPLIED TO THE 1250 GALLON EXISTING TANK. THE EFFLUENT HOWEVER WILL NEED TO BE DIRECTED TOWARD THE LID WHEN IT ENTERS THE TANK OR BE ATTACHED TO THE SCH40 PVC THAT ENTERS THE TANK INLET. THIS LINE WOULD NEED TO BE BUSHED FROM SUPPLY LINE SIZE TO THE SIZE OF THE PIPE ENTERING THE TANK.
 - ALL ACCESS RISERS WILL BE BROUGHT TO FINAL GRADE AND MUST HAVE A SECONDARY PLUG. CAP OR OTHER SUITABLE RESTRAINT BELOW THE RISER CAP TO PREVENT TANK ENTRY IF THE CAP IS UNKNOWINGLY DAMAGED OR REMOVED.
 - THE RISER LIDS MUST BE PERMANENTLY FASTENED TO THE TANK. BE WATER TIGHT AT THE LID AND INTERFACE, AND HAVE A PADLOCK OR COVER THAT REQUIRES TOOLS OR BE RECESSED WITH A MINIMUM WEIGHT OF 65LBS.

Cross- Section Standard Subsurface Trench



4 DRAINFIELD CROSS-SECTION

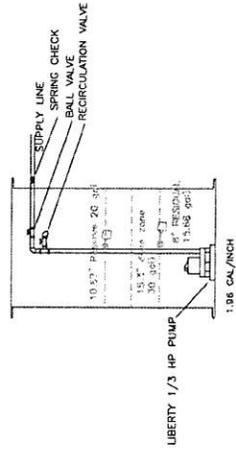
5 CONSTRUCTION AND SITE NOTES

SITE ADDRESS: 400 HAYMEADOW SALADO, TEXAS

Site Information: 1.775 Acres Lot 2 Salado Creek Place Subdivision Bell County, Texas



TOPP INDUSTRIES
FIBERGLASS BASIN
MODEL # FB24X048
24"X48" BASIN
LIQUID VOLUME 94 GAL



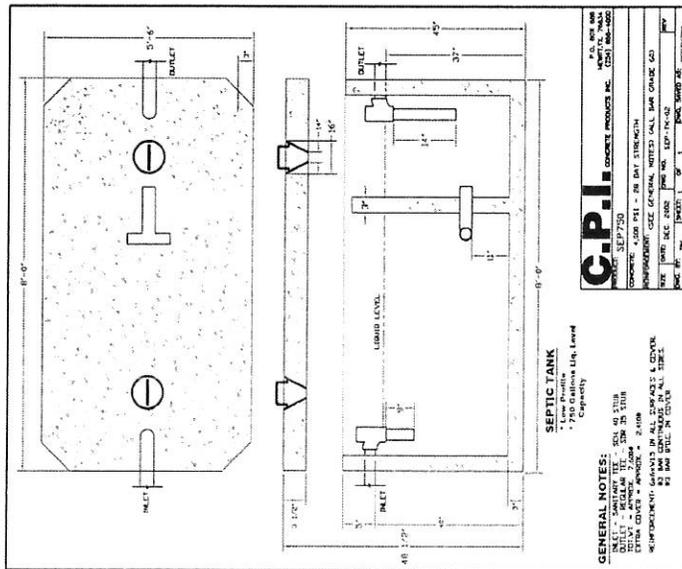
FLOAT SETTINGS

- PUMP OFF @ 8" 1568 GAL RESIDUAL
- PUMP ON @ 23.3" 2333 GAL VOLUME OR 98 GALLONS.
- HIGH WATER ALARM @ 23.33
- 10.67" GAL RESERVE OF 80 GALLONS

NOTES:

- BASIN MFG BY TOPP INDUSTRIES
- COMPOSED OF FIBERGLASS FIBER
- MUST HAVE HIGH WATER FLOAT / SENSOR
- PUMP WILL HAVE ON AND OFF FLOAT ONBOARD
- BASIN TO HAVE A CONTROLLER WITH AUDIO AND VISUAL ALARMS
- BASIN CONTROLLED BY RJ CONTROLS LPD-B PANEL ON DEMAND FLOAT BASIS.
- ALARM PANEL TO BE LOCATED IN A HIGHLY VISIBLE LOCATION
- SPRING TYPE CHECK VALVE TO BE INSTALLED IN THE DISCHARGE LINE TO KEEP EFFLUENT FROM RETURNING TO THE BASIN DUE TO ELEVATION CHANGE.

7 LIFT BASIN

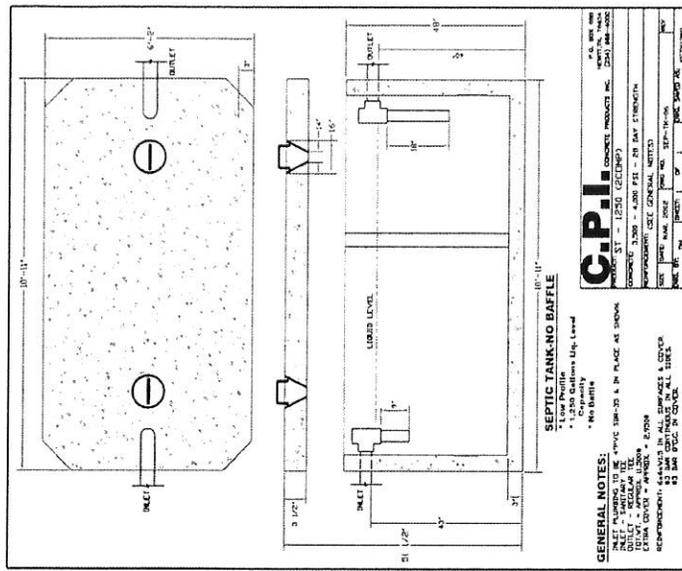
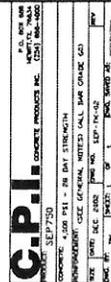


SEPTIC TANK

1 Low Profile
750 Gallons Liq. Level
Capacity

GENERAL NOTES:

- 1 Low Profile
- 750 Gallons Liq. Level
- Capacity
- 1 Low Profile
- 750 Gallons Liq. Level
- Capacity
- 1 Low Profile
- 750 Gallons Liq. Level
- Capacity

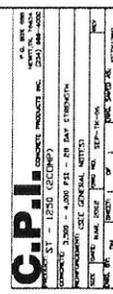


SEPTIC TANK-NO BAFFLE

1 Low Profile
1500 Gallons Liq. Level
Capacity

GENERAL NOTES:

- 1 Low Profile
- 1500 Gallons Liq. Level
- Capacity
- 1 Low Profile
- 1500 Gallons Liq. Level
- Capacity
- 1 Low Profile
- 1500 Gallons Liq. Level
- Capacity



8 SEPTIC / TRASH TANK

8 SECONDARY TREATMENT & DISCHARGE TANK